



Ordinary Meeting of Council

26 October 2016

**UNDER SEPARATE COVER
ATTACHMENTS**

- Item 8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong

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QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

26 OCTOBER 2016

ITEM 8.3	DEVELOPMENT APPLICATION 71-2016 FOR SMALL LOT HOUSING COMPRISING 10 X TORRENS TITLE LOTS, 2 X STRATA TITLE LOT, 1 X PUBLIC LANEWAY, AND ERECTION OF 12 X DWELLINGS,- LOT 1318 DP1217419, GOOGONG
ATTACHMENT 1	COUNCIL MEETING - 26 OCTOBER 2016 - DA 71-2016 - SMALL LOT HOUSING - LOT 63 APRASIA AVENUE - SEC79C MATTERS FOR CONSIDERATION

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong

Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

ATTACHMENT - SECTION 79C(1) TABLE – Matters For Consideration

This application has been assessed under Section 79C(1) of the *Environmental Planning and Assessment Act 1979* and the following matters are of relevance to **Development Application No 71-2016**.

State Environmental Planning Policies

The proposed development has been assessed in accordance with the requirements of the relevant State Environmental Planning Policies (SEPPs) including any draft SEPPs and a summary is provided in the following table:

SEPP COMMENTS	COMPLIES (Yes/No)
<i>State Environmental Planning Policy No 55 Remediation of Land</i>	
<p>Clause 7(1) prescribes that a consent authority must not consent to the carrying out of any development on land unless it has considered whether the land is contaminated.</p> <p>The site is located within Neighbourhood 1A of the new town of Googong. A preliminary investigation of the Googong urban release area was carried out by Coffey Geosciences Pty Ltd. It identified 12 areas of environmental concern (AEC) which are included in Appendix 2 of Googong Development Control Plan.</p> <p>A Site Audit Statement (Report No.12058 SAR 191) prepared by Environmental Strategies Pty Ltd dated 18 October 2013 issued for Neighbourhood 1A, Googong Township development states that the site is suitable for:</p> <ul style="list-style-type: none"> a) Residential with accessible soil, including garden (minimal home-grown produce contributing less than 10% fruit and vegetable intake), excluding poultry, b) Day care centre, preschool, primary school, c) Residential with minimum opportunity for soil access, including units, d) Secondary school, e) Park, recreational open space, playing field, and f) Commercial/industrial. <p>The site is not an AEC concern and there is no reason to suspect that this land is contaminated. Additionally the site is suitable for the proposed residential development as per the Site Audit Statement above. It is considered that the relevant provisions of SEPP 55 have been satisfied.</p>	Yes
<i>State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004</i>	

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SEPP COMMENTS	COMPLIES (Yes/No)
Under this policy, a BASIX certificate must be obtained, and this certificate must be consistent with the plans submitted. BASIX certificates have been submitted for each dwelling and these include measures that will achieve the required energy and water efficiency targets. The information provided within the submitted certificates and the plans are consistent, therefore, compliance with this SEPP has been achieved.	Yes
State Environmental Planning Policy (Infrastructure) 2007	
<p>This Policy provides a planning regime the provision of services and infrastructure in NSW, outlines requirements for consent authorities to consult with relevant public authorities during the assessment of Development Applications, and outlines provisions for various types of exempt and complying development.</p> <p>The provisions of this Policy have been considered in the assessment of the application. The site is not located in or adjacent to road corridor nor does it have a frontage to a classified road. The proposed subdivision of land that forms a part of the subject application does not trigger the minimum thresholds for traffic generating development defined in <i>Schedule 3 - Traffic generating development are to referred to the Roads and Maritime Services (RMS)</i> as it is not proposing 200 or more allotments and does not have access to a classified road or a road that connects to a classified road (within 90m).</p> <p>The site is not located within or immediately adjacent to an easement for electricity purposes or immediately adjacent to an electricity substation. No development is proposed within 5m of an overhead powerline and no ground penetrating work is proposed within 2m of any underground electricity services.</p> <p>There are no other clauses in the Policy relevant to the subject application.</p>	Yes

Local Environmental Plans

The proposed development has been assessed in accordance with the relevant requirements of the *Queanbeyan Local Environmental Plan 2012* and no relevant draft LEPs apply to the land. A summary is provided as follows:

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
Part 1 Preliminary	
Clause 1.2 Aims of Plan	

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
<p>The relevant aims of the Plan to the proposed development are as follows:</p> <ul style="list-style-type: none"> a) <i>to facilitate the orderly and economic use and development of land in Queanbeyan based on ecological sustainability principles;</i> b) <i>to provide for a diversity of housing throughout Queanbeyan;</i> c) <i>to provide for a hierarchy of retail, commercial and industrial land uses that encourage economic and business development catering for the retail, commercial and service needs of the community;</i> d) <i>to recognise and protect Queanbeyan's natural, cultural and built heritage including environmentally sensitive areas such as Queanbeyan's native grasslands, the Queanbeyan River and Jerrabomberra Creek;</i> e) <i>to protect the scenic quality, views and vistas from main roads and other vantage points within Queanbeyan of the escarpment and Mount Jerrabomberra; and</i> f) <i>to maintain the unique identity and country character of Queanbeyan.</i> <p>The proposed development is considered to be generally consistent with the relevant aims of the QLEP 2012. The development is considered to be consistent with the strategic vision for the development of Googong. The development contributes towards the provision of a diverse range of housing stock and does not adversely impact on the natural, cultural or built heritage of Queanbeyan.</p>	Yes
Clause 1.4 Definitions	
<p>The proposed development is defined in the LEP's dictionary as being for dwelling-houses, attached dwellings, semi-detached dwellings, studio dwellings (which are all types of residential accommodation), and earthworks.</p> <p><i>dwelling-house</i> means a building containing only one dwelling.</p> <p><i>attached dwelling</i> means a building containing 3 or more dwellings, where:</p> <ul style="list-style-type: none"> (a) <i>each dwelling is attached to another dwelling by a common wall, and</i> (b) <i>each of the dwellings is on its own lot of land, and</i> (c) <i>none of the dwellings is located above any part of another dwelling.</i> <p><i>semi-detached dwelling</i> means a dwelling that is on its own lot of land and is attached to only one other dwelling.</p> <p><i>studio dwelling</i> means a dwelling that:</p>	Yes

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
<p>(a) <i>is established in conjunction with another dwelling (the principal dwelling), and</i> (b) <i>is on its own lot of land, and</i> (c) <i>is erected above a garage that is on the same lot of land as the principal dwelling, whether the garage is attached to, or is separate from, the principal dwelling, but does not include a semi-detached dwelling.</i></p> <p>earthworks means excavation or filling.</p> <p><u>Note 1:</u> The proposed development is also defined as subdivision of land. Refer to clause 2.6 later in this Report.</p>	
Clause 1.9A Suspension of Covenants, Agreements and Instruments	
No covenants, agreements and instruments restricting the development have been identified.	Yes
Part 2 Permitted or Prohibited Development	
Clause 2.1 Land Use Zones	
The subject site is zoned R1 General Residential. Dwelling houses, attached dwellings, semi-detached dwellings and studio dwellings are permitted with consent by virtue of clause 2.5. Earthworks are considered to be ancillary to these land uses as well as ancillary to subdivision.	Yes
Clause 2.3 Zone Objectives and Land Use Tables	
<p>The objectives of the R1 General Residential zone are:</p> <ul style="list-style-type: none"> <i>To provide for the housing needs of the community.</i> <i>To provide for a variety of housing types and densities.</i> <i>To enable other land uses that provide facilities or services to meet the day to day needs of residents.</i> <i>To ensure that buildings with non-residential uses have a bulk and scale that is compatible with the zone's predominantly residential character.</i> <i>To promote walkable neighbourhoods and a sense of community.</i> <i>To ensure that where possible, development maintains existing bushland.</i> 	Yes

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
<ul style="list-style-type: none"> <i>To encourage medium to high density housing located in close proximity to the town and village centres.</i> <p>It is considered that the proposed development generally satisfies the objectives of the zone. The development contributes to the provision of a variety of housing types to service the needs of the community. The development site is located in close proximity to a future neighbourhood centre and is connected to a network of footpaths promoting a walkable neighbourhood and sense of community.</p>	
Clause 2.5 Additional Permitted Uses For Particular Land	
<p>(1) <i>Development on particular land that is described or referred to in Schedule 1 may be carried out:</i></p> <ul style="list-style-type: none"> (a) <i>with development consent, or</i> (b) <i>if the Schedule so provides—without development consent, in accordance with the conditions (if any) specified in that Schedule in relation to that development.</i> <p>(2) <i>This clause has effect despite anything to the contrary in the Land Use Table or other provision of this Plan.</i></p> <p>This clause applies, as schedule 1 (5A) permits studio dwellings on the subject site as it is within the additional development area (clause 4.1D), despite not being permitted with development consent within the R1 General Residential Land Use Table or other provisions of the Plan.</p> <p>Furthermore, Schedule 1 (5A) stipulates further measures that require compliance for applications proposing studios, they are reiterated below:</p> <ul style="list-style-type: none"> (1) <i>This clause applies to land to which clause 4.1D applies.</i> (2) <i>Development consent may be granted to a single development application for development on land to which this clause applies that is both:</i> <ul style="list-style-type: none"> (a) <i>the subdivision of land in accordance with subclause 4.1D (3), and</i> (b) <i>the erection of a studio dwelling on a lot resulting from the subdivision.</i> (3) <i>Development consent must not be granted under this clause if:</i> <ul style="list-style-type: none"> (a) <i>the ratio of studio dwellings to lots resulting from the subdivision is greater than 1:3, and</i> (b) <i>the dwelling in conjunction with which the studio dwelling is to be established is located on a lot that has an area of less than 225m².</i> <p>The proposed studio dwellings complies with the requirements specified above, as the development application is for subdivision of land in accordance with the requirements of clause 4.1D (additional development area), proposes the erection of studio dwelling on a lot resulting from the subdivision, will comply with the 1:3 ratio and the studio dwellings will be established in connection with a dwelling house that has a gross floor area of less than 225m².</p> <p>The proposed development therefore complies with all aspects of this clause and therefore permits the proposed studio dwellings on the subject site.</p>	<p>Yes</p>

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
Clause 2.6 Subdivision – Consent requirements	
The clause permits development consent for subdivision to which this Plan applies. The proposed development includes the torrens subdivision of 10 lots and the strata subdivision of 2 lots. This plan applies to the subject site and therefore subdivision is permitted with development consent on this land.	Yes
Clause 2.7 Demolition requires development consent	
The proposal does not involve demolition of an existing structure.	NA
Part 4 Principal Development Standards	
Clause 4.1 Minimum subdivision lot size	
<p>The objectives of Clause 4.1 are as follows:</p> <ul style="list-style-type: none"> <i>a) To ensure subdivision is sensitive to land, heritage and environmental characteristics (including water quality, native flora and fauna and places or items of Aboriginal and European heritage value);</i> <i>b) To ensure subdivision does not adversely impact on the functions and safety of main roads;</i> <i>c) To provide lots with areas and dimensions that enable the appropriate siting and construction of a building and associated works to minimise and avoid the threat of natural hazard (including bush fire, soil instability and flooding) and to protect significant vegetation and prominent or significant landscape qualities;</i> <i>d) To ensure new lots have an adequate water supply and can be provided with an effective means of disposal of domestic waste and adequately serviced; and</i> <i>e) To create lots that are compatible with the existing predominant lot pattern or desired future character of the locality and to minimise the likely adverse impact on the amenity of adjoining developments.</i> <p>The proposal has been assessed against the objectives of Clause 4.1 as being satisfactory. Due regard has been given to the environmental constraints on the land, lot sizes and dimensions are appropriate for siting of structures, lots can be adequately serviced, and the proposal is compatible with the desired future character of the locality.</p> <p>The majority of Googong Township, including the subject site, is identified on the Minimum Lot Size Map as having a minimum lot size of 330m². However, Clause 4.1D – <i>Variation to minimum lot size</i>, allows for certain land in Googong Township to be subdivided to create lots that are less than 330m² despite what is</p>	Yes

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
shown on the Minimum Lot Size Map.	
Clause 4.1D Variation To Minimum Lot Size	
<p>As mentioned above, the majority of Googong Township, including the subject site is identified on the Minimum Lot Size Map as having a minimum lot size of 330m². However, <i>Clause 4.1D – Variation to minimum lot size</i>, allows for certain land in Googong Township to be subdivided to create lots that are less than 330m² despite what is shown on the Minimum Lot Size Map.</p> <p>The objective of <i>Clause 4.1D – Variation to minimum lot size</i>, is to provide opportunities for affordable medium density housing in appropriate locations.</p> <p>The clause applies to the following land:</p> <ul style="list-style-type: none"> a) <i>Land within 200 metres of any land within Zone B2 Local Centre,</i> b) <i>Land identified as “Additional Development Area” on the Googong Map.</i> <p>Sub-clause 4.1D (3) states:</p> <ul style="list-style-type: none"> (3) <i>Despite clauses 4.1, 4.1AA and 4.1A, development consent may be granted for the subdivision of land to which this clause applies if:</i> <ul style="list-style-type: none"> (a) <i>there will be at least 4 lots resulting from the subdivision, and</i> (b) <i>the minimum lot size of each lot resulting from the subdivision is 130 square metres, and</i> (c) <i>the development application for the subdivision includes a dwelling design for each lot.</i> <p>The “Additional Development Areas” on the Googong Map are located in areas that are zoned R1 – General Residential which usually have a minimum lot size requirement of 330m². Within the “Additional Development Areas” lots are permitted to have a minimum size of 130m². These have been identified for a smaller minimum lot size than would otherwise be permitted to allow for a transition zone of medium density residential development, (lots between 130m² and 330m²), in close proximity to Neighbourhood Centres and the facilities and public transport options they provide.</p> <p>The subject site is located entirely within the mapped Additional Development Area. The 10 proposed residential allotments range in size from 132m² to 492m² which all comply with the minimum lot size of 130m². The 2 lots that are greater than 330m² contain a principal and a studio dwelling that are proposed to be further subdivided under strata title. The development application also includes the</p>	Yes

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS		COMPLIES (Yes/No)
dwelling design for each lot. The requirements of Clause 4.1D have therefore been satisfied.		
Clause 4.3 Height of buildings		
The maximum building height permitted on the subject site is 12m. The buildings proposed to be erected are between one and two storeys and are all less than 12m in height. Therefore the proposed development complies with this clause. A summary of the proposed building heights are included below:		Yes
Lot 1 (Two Storey)	6.5m	
Lot 1A (Above garage)	6.85m	
Lot 2 (Two Storey)	6.41m	
Lot 2A (Above Garage)	6.85m	
Lot 3 (Single Storey)	4.6m	
Lot 4 (Two Storey)	6.7m	
Lot 5 (Two Storey)	7.37m	
Lot 6 (Two Storey)	7.37m	
Lot 7 (Two Storey)	6.7m	
Lot 8 (Two Storey)	6.7m	
Lot 9 (Single Storey)	4.5m	
Lot 10 (Two Storey)	7.28m	
Clause 4.4 Floor space ratio		
The maximum floor space ratio (FSR) for a building on any land is not to exceed the FSR shown for the land on the Floor Space Ratio Map. The subject site is subject to an FSR of 1.5:1.		Yes
A summary of the proposed Floor Space Ratios of all buildings is provided below;		
Lot 1 & Lot 1A	0.38:1	
Lot 2 & Lot 2A	0.55:1	
Lot 3	0.52:1	
Lot 4	0.62:1	
Lot 5	0.71:1	
Lot 6	0.71:1	
Lot 7	0.62:1	
Lot 8	0.62:1	
Lot 9	0.52:1	
Lot 10	0.42:1	
Part 5 Miscellaneous Provisions		
Clause 5.9 Preservation of trees or vegetation		
This clause requires that development consent is obtained for the removal of trees and/or vegetation as prescribed in the Queanbeyan Development Control Plan		Yes

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Aprasia Avenue - Sec79C Matters for Consideration (Continued)

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
(QDCP) 2012. The proposed development does not require the removal of any vegetation. High quality trees identified in the Tree Assessment Report for the whole of Neighbourhood 1A have been preserved where appropriate. All other scattered vegetation is being removed as part of the subdivision works.	
Clause 5.10 Heritage conservation	
<p>Under Clause 5.10, Council must consider the effect of the proposed development on the heritage significance of the heritage item.</p> <p>The subject site does not contain any heritage item, is not located within a conservation area or within the vicinity of any heritage listed items. Archaeological investigations have been carried out for Neighbourhood 1A. There are no archaeological sites identified within the subject site. It is considered that the proposed development is unlikely to result in any adverse heritage impact.</p>	Yes
Part 6 Urban Release Areas	
Clause 6.1 Arrangements For Designated State and Territory Public Infrastructure	
<p>This clause requires satisfactory arrangements to be made for the provision of designated State and Territory public infrastructure before the subdivision of land in an urban release area.</p> <p>The Director General's Certificate – Satisfactory Arrangements for Designated State and Territory Public Infrastructure issued on 12 March 2014 for development consent 186-2013 and includes this land. Pursuant to sub-clause 6.1(3) a new Certificate is not required to be obtained if a proposed subdivision is for land that was the subject of a previous development consent granted in accordance with this clause.</p>	Yes
Clause 6.2 Public Utility Infrastructure	
<p>This clause states that development consent must not be granted for development on land in an urban release area unless the Council is satisfied that any public utility infrastructure that is essential for the development is available or that adequate arrangements have been made to make that infrastructure available when it is required.</p> <p>Council's Development Engineer has assessed the provision of public utilities and advises as follows:</p> <p><u>Water Supply:</u></p> <p><i>The development and proposed lots are supplied with potable services from infrastructure constructed during works for CCSUB 05-2014, any strata development by the construction of fonzie style units will require an individual</i></p>	Yes

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Aprasia Avenue - Sec79C Matters for Consideration (Continued)

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
<p><i>metering arrangement at the cost of the applicant.</i></p> <p><u>Sewer:</u></p> <p><i>Each lot in the proposed development is supplied with a sewer tie. This was constructed during work for CCSUB 05 – 2014. WAE plans are still pending.</i></p> <p><u>Storm Water</u></p> <p><i>The proposed access lane has a inter allotment storm water main n the centre with pits for overland flow.</i></p> <p><i>Each property is served with a storm water tie, WAE for the work is pending and would form part of a CC application.</i></p> <p>The subject land is a vacant development lot within Stage 6D of the Googong Neighbourhood 1A subdivision. Previous subdivision works have created the surrounding road network and associated infrastructure adjacent the subject site. The site is serviced with reticulated water, sewer and stormwater as mentioned above.</p> <p>Electricity and telecommunications connections are also being made progressively available to each stage of Googong Township. These services have now been made available for this subject site, as this subject site formed a part of Stage 6D which has now been registered.</p> <p>The provision of these services were confirmed within the Subdivision Certificate for stage 6D.</p>	
Part 7 Additional Local Provisions	
Clause 7.1 Earthworks	
<p>The objectives of this clause is to ensure that any earthworks will not have a detrimental impact on environmental functions and processes, neighbouring uses or heritage items and features of the surrounding land.</p> <p>The majority of earthworks have been approved and competed as part of the subdivision and infrastructure construction works under DA 186-2013. Earthworks in the form of cut and fill are required to be carried out to accommodate the proposed dwellings on the subject sites. These earthworks are associated with the development and form a part of this application.</p> <p>The proposed earthworks will not have a detrimental impact on drainage patterns and soil stability or the existing and likely amenity of adjoining properties. Standard conditions relating to site management and erosion and sediment controls will be imposed on the development consent (should it be granted).</p>	<p>Yes with conditions</p>

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
Clause 7.2 Flood Planning	
This clause is not considered relevant to the proposed development as the site is not identified on the flood planning map and is not land that is at or below the flood planning level.	NA
Clause 7.3 Terrestrial biodiversity	
This clause is not considered relevant to the proposed development as the site is not identified as "Biodiversity" on the Terrestrial Biodiversity Map.	NA
Clause 7.4 Riparian land and watercourses	
This clause is not considered relevant to the proposed development as the site is not identified as "Watercourse" on the Riparian Land and Watercourses Map".	NA
Clause 7.5 Scenic protection	
This clause is not considered relevant to the proposed development as the site is not identified as "Scenic Protection Area" on the Scenic Protection Map.	NA
Clause 7.6 Airspace operations	
<p>This clause states that if a development application is received and the consent authority is satisfied that the proposed development will penetrate the Limitation or Operations Surface, the consent authority must not grant development consent unless it has consulted with the relevant Commonwealth body about the application.</p> <p>The proposed development penetrates the 720.00AHD level on the Obstacle Limitations Surface Map for the Canberra Airport. This is because the existing ground level of the majority of land within Googong Township is above 720.00AHD. The Commonwealth Department of Infrastructure and Regional Development (DIRD) has issued Controlled Activity approvals for the construction of dwellings in Stages 1-7 of Neighbourhood 1A and Neighbourhood 1B in Googong. The approvals are subject to structures not exceeding a maximum height of 822m AHD or 20m AGL inclusive of vents, chimneys, aerial, antennas (of whatever type) lightning rods etc. Separate approval in accordance with the Regulations must be sought for any crane operations or other structures within this Googong site which will exceed the height of 822 metres AHD or 20 metres AGL.</p> <p>The proposed dwellings will not exceed the height of 822 metres AHD or 20m actual ground level. No further approvals or consultation is required for this proposal.</p>	
Clause 7.7 Development in areas subject to aircraft noise	

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Aprasia Avenue - Sec79C Matters for Consideration (Continued)

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
This clause is not considered relevant to the proposed development as the site is not located near the Canberra Airport or within an ANEF contour of 20 or greater.	NA
Clause 7.8 Active street frontages	
This clause is not considered relevant to the proposed development as the site is not identified as "Active street frontage" on the Active Street Frontages Map".	NA
Clause 7.9 Essential services	
<p>Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:</p> <ul style="list-style-type: none"> (a) <i>the supply of water,</i> (b) <i>the supply of electricity,</i> (c) <i>the disposal and management of sewage,</i> (d) <i>stormwater drainage or on-site conservation,</i> (e) <i>suitable vehicular access.</i> <p>Council's Development Engineer has assessed the proposed development and confirmed that adequate services are available or can be made available to the proposed development. Comments in regards to the provision of these services are provided below:</p> <p><u>Water Supply:</u></p> <p><i>The development and proposed lots are supplied with potable services from infrastructure constructed during works for CCSUB 05-2014, any strata development by the construction of fonzie style units will require an individual metering arrangement at the cost of the applicant.</i></p> <p><u>Sewer:</u></p> <p><i>Each lot in the proposed development is supplied with a sewer tie. This was constructed during work for CCSUB 05 – 2014. WAE plans are still pending.</i></p> <p><u>Storm Water</u></p> <p><i>The proposed access lane has a inter allotment storm water main n the centre with pits for overland flow.</i></p> <p><i>Each property is served with a storm water tie, WAE for the work is pending and would form part of a CC application.</i></p>	Yes

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QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
<p><u>Access:</u></p> <p><i>The applicant has lodged a DA for the creation of Torrens title blocks with the creation of a public laneway servicing property access from the rear.</i></p> <p><i>Council has no aversion to the concept of public lane ways as long as the parameters of the design specifications and traffic generation are taken into account and applied accordingly in the design to ensure they produce a serviceable functioning and sustainable public asset.</i></p> <p><i>The applicant is required to demonstrate how the proposed public laneways meet the functionality requirements as mentioned with Queanbeyan City Councils Development Design Specification D1 - Geometric Road Design, Googong. Refer to Part 5 and Part 7 of the Googong DCP for details.</i></p> <p>The subject land is a vacant development lot within Stage 6D of the Googong Neighbourhood 1A subdivision. Previous subdivision works have created the surrounding road network and associated infrastructure adjacent the subject site. The site is serviced with reticulated water, sewer and stormwater as mentioned above.</p> <p>Electricity and telecommunications connections are also being made progressively available to each stage of Googong Township. These services have now been made available for this subject site, as this subject site formed a part of Stage 6D which has now been registered.</p>	
Clause 7.10 Development near Cooma Road Quarry	
This clause is not considered relevant to the proposed development as the site is not identified as "Buffer Area" on the Quarry Buffer Area Map".	NA
Clause 7.11 Development near HMAS Harman	
This clause is not considered relevant to the proposed development as the site is not located within 2 kilometres of HMAS Harman or within Zone IN1 General Industrial or Zone IN2 Light Industrial.	NA

Development Control Plan

The Queanbeyan Development Control Plan (DCP) 2012 applies to the development and a summary of the relevant provisions is provided in the following table.

QUEANBEYAN DCP 2012 COMMENTS	COMPLIES (Yes/No)
Part 1 About This Development Control Plan	

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QUEANBEYAN DCP 2012 COMMENTS	COMPLIES (Yes/No)
<p>1.8 Public Notification Of A Development Application</p> <p>The development application was publicly notified in the Queanbeyan Age on the 18 March 2016 and The Chronicle on the 22 March 2016. Adjoining property owners and occupiers were also notified by mail. The closing date for submissions was the 5 April 2016. No submissions were received.</p>	Yes
Part 2 All Zones	
<p>2.2 Car Parking</p> <p>This section of the QDCP requires compliance with the Australian Standard for car parking. Council's Development Engineer advises that the proposed on-site car parking for the development generally complies with AS 2890.1. Refer to further comments relating to car parking under the Googong DCP.</p>	Yes
<p>2.3 Environmental Management</p> <p>A BASIX certificate for each dwelling house with the relevant commitments shown on the submitted plans. The proposed development will not result in any significant environmental impacts and is not located within the vicinity of arterial roads, entertainment venues or the like.</p> <p>However the subject site is fronting Gorman Drive, which is a busy road with high traffic volume per day. Undeniable that the Gorman Drive will generate noise impacts on the dwellings facing Gorman Drive. A condition of consent will be imposed (if granted) requiring all windows in habitable rooms of dwelling facing Gorman Drive to be constructed of thick glass to minimise the noise impact.</p> <p>Domestic waste collection services are available for future residents of each dwelling and adequate area is available for storing domestic waste bins within each allotment. Bin pads have been provided within the laneway verge to accommodate bins for 8 dwellings (dwellings 1A and 3, - 9) for collection. Bins for dwellings 1 and 10 will be placed on the road reserve of Saphira Street and bins for dwelling 2 and studio dwelling 2A will be placed on the road reserve of Helen Circuit for collection. A condition of consent will be imposed requiring the bin pads allocated to dwellings 1A and 3 - 9 must be clearly numbered to ensure only those dwellings use the allocated spaces. Also a condition will be imposed requiring all bins to be stored within each allotment to ensure no bins store within the laneway.</p>	Yes with conditions
<p>2.4 Contaminated Land Management</p> <p>Refer to SEPP 55 assessment.</p>	Yes
<p>2.5 Flood Management</p> <p>The subject site is not identified as a "Flood Planning Area" on the Flood Planning Map.</p>	Yes

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QUEANBEYAN DCP 2012 COMMENTS	COMPLIES (Yes/No)
<p>2.6 Landscaping This clause outlines Council's requirements for landscape plans and also lists what development types require a Council Accredited Landscape Consultant to prepare landscape plans.</p> <p>Satisfactory landscape plans for each of the dwellings have been prepared by a Category 2 Accredited Landscape Consultant. The landscape plans show a variety of surface treatments and plants suitable to Queanbeyan's climate. Refer to further discussion of landscaping under the Googong DCP.</p>	Yes
<p>2.7 Soil, Water and Vegetation Management Plan (SWVM Plans) A SWVM is required to be submitted for the proposed development. Sediment and erosion controls must be installed prior to any work commencing and be maintained throughout the course of construction. The consent will be conditioned accordingly.</p>	Yes with conditions
<p>2.8 Guidelines for Bushfire Prone Areas The site is not a bushfire prone land.</p>	NA
<p>2.9 Safe Design Dwelling designs should achieve effective natural surveillance, access definition, territorial reinforcement and defensible space through appropriate design of landscaping, entrances, lighting, building identification, security and fencing.</p> <p>The proposed dwelling designs generally achieve the above requirements. The proposal was referred to the NSW Police for comment. NSW Police advised that the development has been identified as a moderate-crime risk (refer to comments from the NSW Police later in this report). Submitted plans show appropriate fencing and landscaping that will not obscure entries or prevent natural surveillance of the street or the public laneway.</p> <p>A condition will be placed on the development consent requiring appropriate lighting to be installed within the laneway. This lighting will be required to comply with AS 1158 – Lighting for Roads and Public Spaces, which will provide adequate lighting in accordance with the safe design requirements.</p> <p>A condition will also be placed on the development consent in regards to every dwelling being clearly identified by a street number. This will provide clear identification of the building in accordance with the requirements of this clause.</p> <p>The proposed development generally satisfies the relevant provisions of this clause.</p>	Yes with conditions

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QUEANBEYAN DCP 2012 COMMENTS	COMPLIES (Yes/No)
<p>2.11 Height of Buildings The proposed development complies with the maximum height prescribed for the site in Clause 4.3 of the QLEP 2012 – see previous discussion in this assessment.</p>	Yes
<p>2.13 Preservation of Trees and Vegetation The proposed development does not require the removal of any vegetation. High quality trees identified in the Tree Assessment Report for the whole of Neighbourhood 1A have been preserved where appropriate. All other scattered vegetation is being removed as part of the subdivision works.</p> <p>The submitted landscape plan provides for the planting of several small trees and shrubs.</p>	Yes

The proposed development has been assessed in accordance with the requirements of the **Googong Development Control Plan (DCP)** and a summary of the relevant provisions is provided in the following table.

GOOGONG DCP COMMENTS	COMPLIES (Yes/No)
Part 4 – Subdivision Controls	
<p>4.2 and 4.3 - General Objectives and General Controls</p> <p>It should be noted that the subdivision design is necessarily influenced by the layout and dimensions of the parent superlots approved under previous development consents.</p> <p>The objectives are as follows:</p> <ol style="list-style-type: none"> <i>1. Create a legible subdivision pattern that maximises the 'sense of neighbourhood' and promotes walking and cycling over private car uses;</i> <i>2. To set up a neighbourhood pattern that utilises the residential development areas efficiently, optimises the natural attributes of the site and clearly defines and reinforces the public domain;</i> <i>3. Optimise views and the amenity of residential allotments in regards to views, solar access and proximity to community facilities, open space and public transport;</i> 	Yes

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4. Ensure each neighbourhood within the township has a range of densities and housing choices to cater for the various needs of the community; and

5. Provide good solar access opportunities for future dwellings and residents and ensure that the lot layout responds to and optimises solar access.

The proposed subdivision is considered to be generally satisfactory with regards to the above objectives. The lot layout is an efficient subdivision of the land that allows solar access opportunities, particularly to private open space areas.

The controls relevant to the proposed subdivision are as follows:

a) Subdivision lot sizes shall comply with the minimum lot sizes as specified in the LEP.

b) Each new allotment has sufficient building area on it, being land with a slope of less than 20%.

Note: Many of the controls are not relevant as they relate to neighbourhoods and street hierarchies. These were considered at subdivision stage for the parent superlot.

As discussed previously in this report the proposed lots will have a minimum subdivision lot size of 132m², which complies with the minimum subdivision lot size of 130m² specified in clause 4.1D.

Each new allotment has a sufficient building area with a slope of less than 20%.

4.4 - Lot Orientation and Lot Size and Layout

Lot Orientation

Controls for lot orientation are listed below.

a) A minimum of 70% of lots in each neighbourhood are to achieve solar efficiency.

b) Consideration should be given to different lot dimensions depending on the lot orientation.

c) Lot orientation, size and dimensions should enable dwellings to be generally sited either on an N-S or E-W orientation.

d) Allowances are to be made for different lot depths and widths, depending on

Yes

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orientation, which may also result in increased variety to the streetscape frontage pattern.

e) Where E-W oriented lots are proposed lots should be wider to support solar access.

f) Design for deeper N-S lots on the southern side of roads, particularly if two storey dwellings are envisaged, to allow for solar access to private open space at the rear.

g) N-S oriented lots on the northern side of an E-W road can be less deep than N-S lots on the southern side of the same road. A wider southern lot allows for a central courtyard, which may gain greater solar penetration.

The proposed subdivision generally complies with the above controls. All lots will receive more than 3 hours sunlight to 50% on the PPOS.

Lot orientation is necessarily influenced by the orientation and dimensions of the parent superlots which were approved under DA 186-2013, resulting in the majority of lots having north-south orientation (lot frontages facing north) and east-west orientation (lot frontages facing east). The orientation of north to the front and side of the proposed lots allows for all lots to achieve solar access to the PPOS and living areas for a minimum of 3 hours on the 21st of June.

A combination of single and two storey dwellings are proposed, each dwelling will achieve solar access to the PPOS and living areas, this can be attributed to the orientation of the lots as well as the depth of most of the lots being 27.5m, which helps to overcome the overshadowing of neighbouring lots by the proposed two storey dwellings within this subdivision.

The lot depths for all of the lots will be between 27.5m and 40.84m and widths (frontage) of between 4.8m and 13.655m, the wider widths of the lots are provided for the corner lots 2 and 10 which have increased widths to accommodate the bend within Helen Circuit and Saphira Street. This has provided a varied street pattern for the subdivision.

Lot Size and Layout

The objectives of the lot size and layout controls are:

- 1. Encourage a variety of lot sizes across the site to promote housing choice and create varied streetscapes.*
- 2. Smaller lot sizes are to be located within easy walking distance of a neighbourhood centre or the town centre.*

Yes

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3. Promote generally rectangular street blocks and lots to maximise efficiency.

The proposed subdivision is considered to be generally satisfactory with regards to the above objectives. The existing superlot forms part of a larger rectangular street block and one irregular block shape. The subdivision mainly involves smaller lots which are located within walking distance of a future neighbourhood centre and there is also some variety of lot sizes proposed (132m² to 492m²).

Controls for lot size and layout are:

- a) Minimum lot size is to be in accordance with the LEP Lot Size Map and the lot dimensions are to be in accordance with the Table below.*

Lot Size	Minimum Frontage Dimension
170 < 250m ²	6.0m
250 < 300m ²	6.0m
300 < 450m ²	10m
450 < 600m ²	12m
600 < 900m ²	12m
900 < 1500m ²	15m
> 1500m ²	18m

- b) Residential lot size must be capable of accommodating a dwelling, private open space and at least one under cover car parking space.*

- c) Lot size and layout are to take into account the slope of the land, any environmental constraints and any significant natural features to create a legible and permeable neighbourhood pattern.*

- d) Lots should be generally rectangular in shape and orientated to allow future dwellings to gain access off streets and where possible, public open spaces.*

The proposed subdivision generally complies with the above controls. As discussed previously in this Assessment under the QLEP 2012, the subject site has a minimum subdivision lot size of 130m² as it is within the Additional Development Area, which permits a variation to the minimum lot size of 330m². As such the development proposes minimum lot sizes of 132m² and thus complies with the 130m² minimum lot size applicable to the subject site.

Two of the proposed lots (Lots 3 and 9) have an area of 130m² and have a frontage of 4.8m which exceeds the 4.5m minimum sought and complies. Six of the proposed lots (Lots 4 – 8 and Lot 10) are within the 170m² – 300m² lot size range and have a frontage between 6.2m – 9m, which exceeds the 6m minimum sought and complies. One lot is in the 300m² - 450m² range, combination of lot 2 (principal dwelling) and lot 2A (studio dwelling). This lot has a total area of 373m² and required to have a

Variation

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minimum lot width of 10m and is complies by having a lot width of 13.655m (frontage facing Gorman Drive).

Lot 1 (combination of Lot 1 (principal dwelling) and Lot 1A (studio dwelling)) is in the 450m² - 600m² range and is required to have a minimum frontage of 12m wide as a total area is 492m². Lot 1 has a minimum lot width of 5.85m at the front boundary facing Saphira Street which is a variation to Council DCP.

The applicant has submitted a variation request, stating that the variation was resulted from the irregular shape created by the approved subdivision of the parent lot (DA 186-2013) and is considered minor and do not adversely impact on the amenity of any adjacent properties. Furthermore, the variation responds to the site constraints.

The proposed variation is supported for the following reasons;

- a) No vehicle access is provided to Spahira Street from this front boundary. Garages have direct access to the public laneway. Only pedestrian access is provided from this front boundary.
- b) The narrow lot width will not impact on the building appearance or streetscape and proposed landscaping at the front boundary.
- c) Narrow frontage will not reduce the natural surveillance to/from dwelling to/from the street.
- d) The proposed building complies with the front building setback.

The proposed layout and size of the lots are capable of providing a dwelling with a façade to Gorman Drive, Saphira Street and Helen Circuit, private open space with a northern/north-eastern/north-western orientation and an undercover car parking space within a carport/garage to the rear, which is accessed via the proposed public laneway. The orientation, depth, size and grade of the lots result in the lots being capable of accommodating a dwelling house, private open space and car parking.

The proposed development only requires a minimum cut and fill to accommodate the proposed lots. There are no environmental or natural features of the site that will prevent the proposed subdivision pattern.

Proposed lots 3-9 are rectangular in shape, while lots 2 and 10 are corner lots and have a bend along the secondary street boundary to accommodate the street form of Saphira Street and Helen Circuit. The bend of these lot boundaries could not be prevented and does not result in adverse impacts on the neighbourhood pattern. Lot 1 has an irregular shape as a result of the previous approved subdivision of a parent lot (DA 186-2013). All lots have vehicular access from the public laneway.

The proposed development complies with the controls above.

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Part 5 – Design Guidelines and Controls for Public Domain	
<p>Council previously approved a development application 412-2015 for small lot housing with a public laneway which was a first application to propose public laneway within a Torrens title subdivision for small lot housing. This application also proposed a public laneway that will provide access to the rear loaded garage/carports of the 12 proposed dwellings within this application and include garbage collection within the verge of the laneway, Saphira Street and Helen Circuit. The proposed public laneway will connect to the existing Saphira Street and Helen Circuit and will therefore form a part of the existing street network. The proposed public laneway will be dedicated as a public road but it will function the same as private laneways and has been designed in the same manner.</p> <p>While the proposed public laneway will function in the same manner as the previous approved private/public laneways, it will be a Council asset and public liability is a main consideration. Increased widths of the road reserves are required to reduce public liability risks. However, the Engineering Design Specifications and the numerical requirements for laneway designs have not specified requirements applicable to public laneway designs and instead only have general requirements that cover both private and public laneway design.</p> <p>The proposed public laneway has been designed in accordance with the requirements of the Engineering Design Specifications and Table 3 of the Googong Development Control Plan 2012, bar the provision of a 2m verge. The Local Development Committee and development engineers have not supported the proposed public laneway as it does not comply with the 2m verge requirement (only 1m wide on the southern side of public laneway for first 26m long, 1.83m at the entrance of Helen Circuit and the width gradually change the centre of the laneway and Saphira Street). Concerns were raised by the Local Development Committee as follow and has been addressed below:</p> <ul style="list-style-type: none"> a) <i>Pedestrian safety with no identifiable facilities in the public laneway for pedestrians;</i> b) <i>Potential for the lanes to be used as thru traffic access which is not as per design. This concern was particularly noted with nearby development such as a school that might generate vehicle or foot traffic using the lane as alternate route or for parking during busy pick up and drop off school times.</i> c) <i>Safety concerns with garbage collection including pedestrian safety of residents and potential disruption to garbage collection service should vehicles park in the laneway.</i> d) <i>Proposed lane widths permit only one-way direction traffic did raise safety concerns for vehicles in residences based towards the rear end of the lane that may illegally choose to exit the lane in the wrong direction rather than drive the full length of the lane in the correct direction.</i> e) <i>Concerns for speeding and thru traffic with the linkage of the public laneways and recommendation for a reasonable visual offset to be included in the design.</i> f) <i>Note the need for public laneways to be accessible by emergency services</i> 	Variation

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vehicles and concerns the current design might not always permit this access.
g) Concerns that the location of the garage blocks pedestrian sight distances for vehicles traffic using the laneway.

Development Engineer advised that Council has no aversion to the concept of public lane ways as long as the parameters of the design specifications and traffic generation are taken into account and applied accordingly in the design to ensure they produce a serviceable functioning and sustainable public asset.

As a laneway is proposed that will connect to the existing street network, clause 5.2 Street Network is applicable. This clause refers to the Policy framework for laneway location and design.

The policy framework outlined below highlights the generalisation of the laneway design controls and the lack of detailed controls that are only specific to a private and public laneway.

Policy Framework for laneways

Masterplan

The Googong Masterplan references laneways within Table 2: Street Hierarchy as LA6 as a street that provides access to the side or rear of lots for access to residential garages, studios above garages and to parking for activity centres. There is no distinction of private or public laneways or their function.

Structure Plan

The structure plan for Neighbourhood 1A identifies two types of laneways, but does not specify as to whether they are private or public.

Design Specification-D1 Geometric Road Design Guidelines

There are two tables that specify requirements for laneways, table D.1.5 and D1.8. These two tables specify a 100 vehicles per day requirement, 3m minimum carriage width and a 7m wide road reserve. The main difference between the two tables is the requirements for verge width. D.1.5 requires a verge width of 0.5m and D1.8 requires a verge width of 2m. There is no clear indication as to which table is used for public or private laneways.

Googong Development Control Plan Table 3 of Part 5 – Subdivision and Design

The numerical requirements specified in Table 3 mirror the requirements specified in table D1.8 of the Design Specification- D1 Geometric Road Design Guidelines. This table does not specify whether it is applicable to private or public laneways.

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The policy framework makes provisions for laneways, but does not distinguish between public and private laneways and therefore the assessment of the proposed public laneway is guided by the following objectives and controls.

5.2 – Street Network

Objectives:

The objectives of the clause 5.2 are provided below:

- 1) *Establish a street network that complements the characteristics of each neighbourhood area and promotes a liveable and permeable local environment.*
- 2) *Provide safe and convenient access to all subdivisions and all allotments within a subdivision.*
- 3) *Facilitate safe movement of road users through the provision of usable and accessible facilities for pedestrian and cyclists.*
- 4) *Promote use of public transport through the provision of appropriate facilities for users of public transport.*
- 5) *Make provision for legible, safe and efficient pedestrian, bicycle and vehicular movement throughout the township and connections to the established network.*
- 6) *Create a street hierarchy that reflects the function and character of each street and forms part of a legible network.*
- 7) *Make provision for a public transport route through Googong.*
- 8) *Provide as appropriate Water Sensitive Urban Design (WSUD) elements into the street network, as illustrated in images above.*

The proposed development is generally consistent with the above objectives. Consistency will be explored further in regards to the non-compliances with aspects of subclause a) and the non-compliances with subclause c).

Control for street network are listed below;

- a) *Streets are to be designed in accordance with the Master Plan, Council's adopted Engineering Design Specification – Googong, Control Diagrams and numeric controls in the Table 3 as identified herein.*

The proposed public laneway complies with the part of this clause that requires streets to be designed in accordance with the Master Plan. The proposed public laneway has been designed to provide access to the garages/carports of the proposed dwelling houses and studio dwelling. This is consistent with the above requirements for a laneway specified within Table 2: Street Hierarchy of the Masterplan. However the proposed public laneway does not comply with the 2m verge width requirements specified within the Engineering Design Specifications and Table 3 of the Googong Development Control Plan.

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As mentioned above, the proposed public laneway will provide a verge width of 1m wide on the southern side of public laneway for first 26m long, 1.83m at the entrance of Helen Circuit and the width gradually change towards the centre of the laneway and Saphira Street. Therefore the proposal does not comply with the required width of 2m within Table D1.8 of the Geometric Road Design Specification and Table 3 of the Googong Development Control Plan. These two tables are applicable to the proposed laneway as it generates a traffic volume of 100 vehicles per a day. The compliance with the requirements of these two tables is relevant to subclause a) and c) below of clause 5.2, as they require streets including laneways to be designed in accordance the Engineering Design Specification and the Googong Development Control Plan Table 3.

The non-compliance with the verge width requirement of 2m is therefore a variation to subclause a) and c). Variations can be supported to development controls where the objectives of the particular development standard can be achieved without detriment and an applicant has submitted a written justification for the variation sought. The applicant has provided a written justification below following by numerous discussions with Director and Manager Development Control.

The variation to the verge width has been assessed below:

Applicants Justification:

"In terms of geometric design we have amended the layout to ensure that a full 7m of pavement width is available from garage door to edge of laneway to allow adequate manoeuvring space for cars entering/exiting the garages in a single turn as requested by Council at our meeting of 2 June 2016. In addition we have included a kerb on the far side of the laneway to prevent cars from driving into the landscape zone as well as garbage bin pads within the landscape zone

We note Councils reference to Note 6 from Councils Development Design Specification D1 and the suggestion of additional verge width being required to provide for pedestrians. Both the DCP and Councils Specification, in the tables describing street types, specifically indicate that footpaths are not required. The DCP further stipulates that laneways are to be designed as a shared zone.

The laneway has been designed as a shared zone that encourages low volumes and a safe and slow speed environment via its short length and clearly differentiated and narrow entries and exits. Despite the location near the village centre, given the narrow driveway style entry and one-way signage, it is highly unlikely that the laneway would attract through traffic as suggested by Council".

Assessment of variation:

The variation is supported based on the function and design of the proposed public laneway. It will provide safety to all its users, despite the reduced verge width.

The function of the laneway will be the same as a private laneways, which is to provide

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primarily vehicular access to the garages for residents, therefore reducing the potential conflicts between pedestrians and vehicles using the laneway. Non-resident pedestrians are therefore likely to utilise the existing footpath network around the site.

Resident pedestrians will have knowledge of the laneway and garages and this familiarity will reduce safety impacts.

The laneway design will also ensure safety through slowing traffic movements through its design including the bend, carriage width, one directional traffic and multiple garages/carports access points onto the laneway. All of these aspects will require drivers to slow down due to and wait for vehicles to enter and exit their driveways. Given the narrow driveway style entry and one-way signage, it is unlikely that the laneway would attract through traffic other than residents.

Increasing the verge width will have impact on already narrow Lot 1 frontage. This will reduce the frontage width even further. This irregular shape block has created and approved under the previous subdivision.

The variation is supported as the design and function of the laneway will still be consistent with the relevant objectives of this clause 5.2 which are 1,2,3,5 and 6, specified above:

- a) Small lot housing was envisaged on and around the subject site, within Neighbourhood 1A. To complement this area laneways were chosen as the street type to service the small lot housing development type. Laneways were chosen as they would primarily function for the purpose of providing access to the rear loaded garages/carports of the small lot housing and would not act as thoroughfare to provide quicker access to other sections of the street network. The proposed public laneway servicing the small lot housing subject to this application will therefore be consistent with this street type and therefore the characteristics of this neighbourhood area. This will not be affected through the reduced verge width.
- b) The proposed public laneway will service the small lot housing through providing access to the garages/carports and connecting the laneway to the existing street network (Helen Circuit and Saphira Street), therefore providing permeability and liveability.
- c) The proposed laneway will provide safe and convenient access to the rear loaded carports/garages, through providing an adequate width for the road reserve, slowing traffic movements through the laneway through design measures i.e dog legs, carriageway widths and one directional traffic. All of these measures will result in reduced conflicts between vehicles accessing entering and exiting their garages/carports within the subdivision. The reduced verge width will not impact on these aspects of the design of the laneway.
- d) The verge width will provide a verge that will provide safe pedestrian movement through the laneway. However, this verge is narrow. While the verge is narrow there will be safety afforded to pedestrians as vehicle users, as previously explained will be required through the design of the laneway to have slower vehicle movements. This will mean despite the reduced verge width that pedestrians will still be able to walk safely down the verge as vehicles will move slowly through the laneway, resulting in minimal conflicts between vehicles and pedestrians.

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- e) The function of the laneway will be primarily for the residents of the subdivision, therefore reducing levels of pedestrians utilising the laneway as it does not have the same level of functionality as other streets within the street network. This will result in minimal pedestrian and cyclists, utilising the verge and instead utilising the existing pedestrian and cycle links around Gorman Drive, Saphira Street and Helen Circuit, provided within the existing street network. The provision of pedestrian and bicycle links will not be altered by the reduced verge width.
- f) The proposed public laneway was not required to provide additional public transport options, public transport options are already provided within neighbourhood 1A within the vicinity of the proposed development.
- g) The laneway was not required to provide further bicycle links, within the design of the public laneway.
- h) The proposed public laneway will not impact on the bicycle network through Googong Township. Existing higher order streets contribute to this network.

The public laneway proposed in this application is supported by Council in this instance. Undeniable, the proposed public laneway in its current form, if approved, may set the precedent or result in cumulative impacts. Therefore future public laneways will be required to meet the Engineering Design Specification, numerical controls and general design requirements to avoid cumulative non-compliance issue in the future.

The main reasons for supporting the public laneway within this application is for the following reasons:

- a) The size, orientation and location of the superlot was approved in DA 186-2013. As such there is limited opportunity within this application to change the orientation, shape, access of the lot to provide a different outcome for the laneway design, and
- b) The policy framework for laneways does not distinguish the application of the design requirements for a public or a private laneway. Limited direction is therefore provided for how to design the public laneway, to provide a different level of function/service provision than a private laneway.

The policy framework and overarching superlot concept development application will be improved in light of the issues raised within this application for public laneways for Neighbourhood 2 of Googong.

Undeniable, the proposed public laneway in its current form, if approved, may set the precedent or benchmark for future public laneway designs. Therefore future public laneways will be required to meet the Engineering Design Specification, numerical controls and general design requirements to avoid cumulative non-compliance issue in the future. Additionally the policy framework needs clarification, particularly the circumstances where public laneways are accepted and where they are not.

- b) A development application must demonstrate that the proposed streets are appropriate for their role in the street network.*

The proposed laneway is designed as a lower order street within the street network and

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is intended for use by the proposed 12 dwellings, and has not been designed as a thoroughfare for other traffic. The proposed laneway is therefore consistent with its role in the street network, which is defined as "a street that provides access to the side or rear of lots for access to residential garages, studios above garages and parking for activity centres" as it will provide rear loaded access to the proposed 12 dwellings.

There is no requirement for the laneway to include car parking for activity centres. The proposed public laneway complies with the requirements of this clause.

c) All new streets are to comply with the design and engineering requirements applicable to roads and streets, crossings, footpaths, cycle ways, bus shelters and the like in QCC Engineering Design Specification – Googong. Refer to assessment under subclause (a) above.

d) Streets are to include a stormwater drainage facilities as required. WSUD controls should be provided where possible in central medians.

As per Development Engineer's advice, the proposed access lane has a inter allotment stormwater main in the centre with pits for overland flow. Each property is served with a stormwater tie, WAE for the work is pending and would form part of a CC application.

e) Subdivisions are to be designed to provide adequate safety for pedestrians using the street verge.

The proposed public laneway will have a verge width between 1m – 4m, and will provide an adequate strip for pedestrians to utilise. The overall design of the laneway will ensure that the laneway is safe for all uses and will present minimal conflicts between pedestrians and vehicle users. The laneway has been designed to function primarily to provide access to the resident's garages/carports. This result in a laneway designed to be one directional, with a carriage width between 3.3m – 5m and a number of bends "dog legs". These design features have a cumulative effect of slowing down traffic movements through the laneway and preventing through traffic. The dog leg within the laneway also reduces sight distances resulting in drivers slowing down within the laneway to compensate.

As previously stated adequate safety is provided to pedestrians as the laneway has been designed to reduce vehicle speed through the laneway and ultimately result in reduced conflicts between vehicles and pedestrians using the laneway.

In addition, the function of the laneway is to provide access to the resident's garages/carports of the subdivision and not to act as a thoroughfare for pedestrians. This will mean that there is unlikely to be the same level of pedestrian activity utilising the laneway and therefore will have lower levels of conflicts between vehicles and pedestrians due to the level of activity.

f) Applications for subdivision shall be accompanied by a traffic engineering

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<p><i>assessment that includes traffic volumes and movements, cross-sections through typical street types demonstrating that road reserve widths can adequately accommodate electricity, gas, telecommunications, water and waste water infrastructure, street trees, footpaths, shared paths, on-street parking, road pavement widths and where appropriate on-street cycling.</i></p> <p>The requirements of this clause have been met through the submitted plans prepared by Calibre Consulting. The traffic volume was calculated during the assessment of the development application by the development engineer, the proposed development will generate 100 vehicles per day, which is compliant with the laneway vehicle per a day generation of 100. The proposed laneway will provide adequate road pavement widths, street trees, sewer and stormwater infrastructure within the road reserve. This has been confirmed by the Development Engineer. As per the Engineering Design Specifications and Googong DCP, the proposed development is not required to provide the other aspects specified in this subclause such as footpath, on-street parking, bicycle path etc. The proposed public laneway complies with the requirements of this subclause.</p>	
<p>5.8 – Local Street — Laneway</p> <p>Laneways within the Googong Township may be either public or private. The subject proposal includes a public laneway (one way street) with access off Saphira Street only. This application for small lot housing is the second application to proposed public laneway within a Torrens title subdivision. The proposed public laneway is not connected to another laneway. The proposed public laneway will connect to the existing Saphira Street and Helen Circuit and will therefore form a part of the existing street network, i.e. will provide access to the rear loaded garage/carports of the 12 proposed dwellings within this application and include garbage collection within the verge and laneway. The proposed public laneway will function the same as public laneways and will be designed in the same manner.</p> <p>While the proposed public laneway will function in the same manner as the previous approved private laneways, it will be a Council asset and public liability is a main consideration. Increased widths of the road reserves are required to reduce public liability risks. However, the Engineering Design Specifications and the numerical requirements for laneway designs have not specified requirements applicable to public laneway designs and instead only have general requirements that cover both private and public laneway design.</p> <p>Controls for public laneway are listed below.</p> <p>a) <i>Public laneways are to have a carriageway of 3.0m, must allow for garbage service vehicles and medium rigid trucks and are to be signposted as one-way. A minimum road reserve width of 6m is required where a 0.5m rear setback is provided.</i></p> <p>The proposed laneway has a carriageway width between 3.3m (at entry and exit)</p>	<p>Yes with conditions and plan to be amended in red</p>

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<p>– 5m (in centre) and an overall road reserve width between 7.0m – 9.5m.</p> <p>Garbage collection will be provided within the verge on the left side of the laneway via the bin pads. The bin pads will service dwellings 1A and 3-9, while lots 1, 2, 2A and 10 will be collected from bin pads within the verges of Saphira Street and Helen Circuit. The development engineers have assessed that the width of the laneway will accommodate the garbage service vehicle.</p> <p>In addition to the above this clause requires the signposting of the lane way to be one way. A condition will be placed on the development consent to this effect requiring the direction of traffic through the laneway to be from Saphira Street to Helen Circuit.</p> <p>b) <i>Where no rear setback is provided a minimum road reserve of 7.0m is required. Any above ground structures, trees or landscaping in the laneway shoulder must be located to allow vehicles to enter garage doors in accordance with Figure 5.4 of AS/NZS 2890.1 – 2004. Public laneway must connect to a public street at each of its ends and not to another laneway.</i></p> <p>The proposed carports of dwellings 3, 7 and 9 and garage for dwelling 10 have zero rear setback from the public laneway. Carports for dwellings 4 – 6 and 8 and garages for dwellings 1, 1A, 2 and 2A are located approximately 1m – 2.5m from the proposed public laneway.</p> <p>The laneway road reserve is between 7.0m – 9.5m. The proposed landscaping do not impede vehicle manoeuvrability. All vehicles can enter and exit the proposed garage and carport. The mixture of garages and carports with varying setbacks provide articulation the proposed laneway.</p> <p>c) <i>The public laneway should be offset from one another at a street junction and any staggering must allow for use by small rigid trucks.</i></p> <p>The proposed laneway has a length of 70m. While the pavement is straight, the staggering effects is in the build-up of various landscaping widths and articulation and setback of carports and garages within the laneway. Decorative elements have also been provided at the entrance and exit to break up the laneway surface. A condition of consent will be imposed (of granted) requiring more stencilling / treatment to be provided within the laneway to avoid a “gun barrel” appearance.</p>	
GOOGONG DCP COMMENTS	COMPLIES (Yes/No)
Part 7 – Small Lots, Studio Dwellings, Dual Occupancies, Multi Dwelling Housing and Residential Flat Buildings	
<p>Part 7 contains development objectives and controls for small lot housing on lots between 130m² and 330m² and studio dwellings. Each dwelling is listed below.</p>	<p>Yes</p>

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Lot No.	Lot Size	Description	
1 & 1A	492m ²	Two storey dwelling house and Studio dwelling above garage	
2 & 2A	373m ²	Two storey semi-detached dwelling and Studio dwelling above garage	
3	132m ²	Single storey attached dwelling	
4	170m ²	Two Storey attached dwelling	
5	180m ²	Two Storey attached dwelling	
6	180m ²	Two Storey attached dwelling	
7	170m ²	Two Storey attached dwelling	
8	170m ²	Two Storey attached dwelling	
9	132m ²	Single storey attached dwelling	
10	279m ²	Two storey semi-detached dwelling	
Relevant controls are discussed below with reference to Part 7 and the DCP's Table 1 – Small Lot Housing.			
<p>7.2 Streetscape</p> <p>Objectives of clause 7.2:</p> <p>1) <i>To promote new development that is of a scale and architectural quality which contributes to the existing and future desired built form and character of the various areas of the new township of Googong as envisaged in the Master Plan.</i></p> <p>2) <i>To ensure that new development is sensitive to the landscape setting and environmental conditions of the locality.</i></p> <p>Controls</p> <p>a) <i>Development shall be generally in accordance with the neighbourhood Structure Plan.</i></p> <p>The neighbourhood structure plan, which envisages small lot housing development that is in close proximity to the neighbourhood centre. The proposal is consistent with the Neighbourhood Structure Plan.</p> <p>b) <i>A mixture of compatible materials have incorporated into the design to create attractive and cohesive streetscapes.</i></p> <p>A mixture of compatible materials have been incorporated that increases the attractiveness and cohesion of the small lot housing within the streetscape, these include:</p> <ul style="list-style-type: none"> • Brick, • Timber cladding, • Colorbond, and • Rendered finishes. 			Variation – proposed fences

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<p>c) <i>Building setbacks, walls on boundary and garage door widths to comply with requirements of Table 1.</i></p> <p>Refer to Table 1 below for detailed assessment of these matters.</p> <p>d) <i>On corner sites the façade treatment should address both street frontages in order to promote a strong and legible character while maintaining sight lines.</i></p> <p>There are three proposed lots on the corner of Gorman Drive, Saphira Street, Helen Circuit and public laneway. The proposed dwellings on these lots incorporate treatment that addresses both frontages these are:</p> <ul style="list-style-type: none"> • Mixed materials (brick/timber/colorbond etc) • Vertical/ horizontal panelling contrasting which contrasting with sections of block colours, • Articulation zone, • Articulated sections, and • A mixture of colours (grey, white, black and brown etc). <p>e) <i>Fencing should be designed to provide a clear distinction between private and public space and to encourage casual surveillance of the street.</i></p> <p>f) <i>Fencing should be consistent with the established style and pattern of fences in the locality.</i></p> <p>g) <i>Elements such as fences, walls, hedges, level changes and landscaping or a Façade treatment to address both streets combination of these elements are to define the front boundary.</i></p> <p>h) <i>Where front fences/walls are used they are to be a maximum height of 1.2m to the primary street frontage.</i></p> <p>i) <i>Front fencing is to be predominately open in design, such as picket fences, hedges or palisade style fencing.</i></p> <p>j) <i>Maximum height of fences to secondary street frontage is 1.8m. A fence on a secondary street frontage that is 1.8m must not extend more than 50% of the lot depth. Fences to secondary street frontage that extend beyond the 50% lot depth are considered to be front fencing and have a maximum height of 1.2m.</i></p> <p>k) <i>Side fences between residential lots are to start at least 1m behind the primary building frontage of the dwelling.</i></p> <p>The submitted landscape plans define the public/private space with plantings and the following fencing types. See figure 1 below:</p> <ul style="list-style-type: none"> ○ 1.5m high horizontal timber slat fencing (70mm slats with 40mm gaps) to the side property boundary of dwellings 2 and 10 facing Helen Circuit and Saphira Street (secondary frontages). 1.5m fence does extend beyond the 50% lot depth (approximately 54.5% proposed) however the proposed height is less than 1.8m requirement. See assessment of variation below. ○ 1.0m high horizontal aluminium slat fencing with 450mm high masonry 	
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plinth to front and side corners of dwellings 1, 2, 2A and, 10. Plan will be amended in red to delete the 1.0m high fence to the front and side of dwelling on Lot 1. This will make the narrow frontage of Lot 1 seems wider.

- 1.5m high horizontal aluminium slat fencing (65mm slats with 20mm gaps) to the primary frontage of dwellings facing Gorman Drive and forward of the building line of those dwellings, to screen the PPOS areas. The gaps between slats will allow for natural surveillance to/from the road. See assessment of variation below.
- 1.8m high lapped timber paling fence to internal side boundaries of dwellings 2 – 10 and to the side (1.0 metre behind the front building line) and rear boundaries of dwelling 1.
- 1.5m high horizontal aluminium slat fencing (65mm slats with 40mm gaps) to internal side boundaries of dwellings 3 – 9 between each carport/garage towards the laneway.
- 1.8m high horizontal timber or aluminium flat fence 10mm gap between slats to internal lane way side boundary for Lots 1 and 1A.

Variation – front and side fences forward of the building line of dwellings on lots 2 – 9.

Clauses (h) and (i) above state that the maximum height of the front fence is 1.2m high and is to be predominately open in design. Clause k states that side fences between residential lots are to start at least 1m behind the primary building frontage of the dwelling.

The proposed front fencing and side corners of dwellings 2, 2A and 10 will be consistent with the established pattern as it will be 1m in height and will be open style (gaps between slats). However the front fencing including the side fence forward of the building line of dwellings 2 (part of front boundary) and dwellings 3 – 9 is 1.5m high. This is a variation to the DCP.

The proposed variation is supported for the following reasons:

- The proposed front fencing is open style and is unlikely to result in any negative visual impact to the streetscape;
- The fencing provides a clear definition of the boundaries including the primary front courtyard of each property and is consistent with the traditional character of terrace housing; and
- The open style fence will provide suitable natural surveillance to/from properties to/from the road.

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Variation – Fencing requirement for corner lots 2 and 10

Clause (j) above states that the maximum height of fences to secondary street frontage is 1.8m and must not extend more than 50% of the lot depth.

The proposed fence for Lot 2 and 10, consists of a 1.0m aluminium horizontal slat fence with 450mm gaps along the Gorman Drive frontage and a 1.5m horizontal timber slat fence with 40mm gaps along the Helen Circuit and Saphira Street secondary frontages. The fence proposed along the Helen Circuit frontage for Lot 2 is consistent with the requirements of this clause as it will not extend more than 50% of the lot boundary and maximum height is 1.5m.

However, Lot 10 proposes a fence along the secondary frontage that extends 54.5% of the length of this frontage, this is a variation to the requirements of this clause. The proposed variation to allow for lot 10 to have a 1.5m high section of fencing for over 50% of the width of the secondary frontage is supported in this instance for the following reasons:

- The fencing will be well presented to the street through the use of high quality materials, including masonry piers to match the dwellings, open elements, and the use of soft landscaping in front of it;
- The fencing provides a good level of privacy to PPOS and living room windows;
- Passive surveillance of the street is maintained as 1.5m high fencing is below adult eye height when standing. Also, the fencing also contains open elements; and
- This specific variation has been supported previously for dwellings on corner lots within terrace style small-lot housing developments in Googong for the same reasons.

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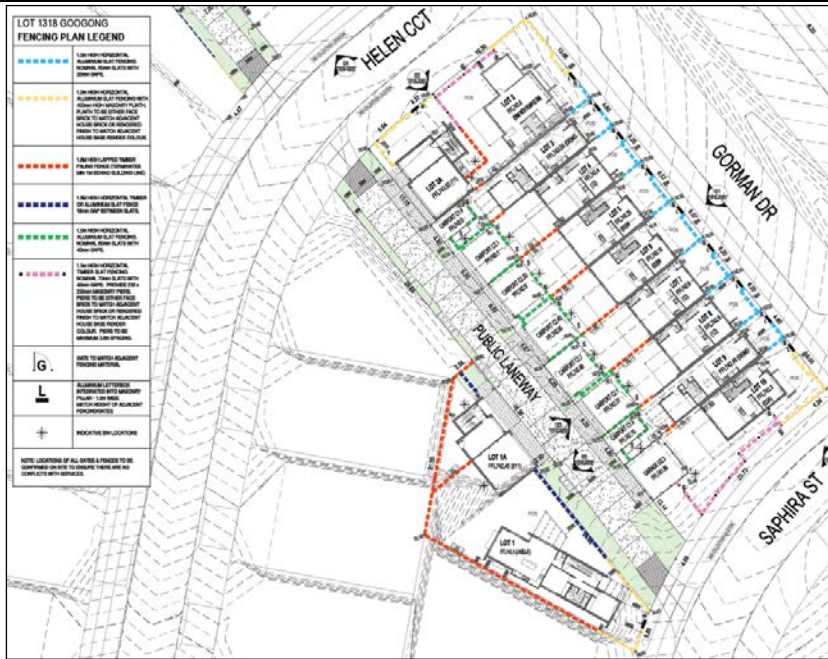


Figure 1 – Proposed fencing

Yes

7.3 Streetscape – Public and Private Laneways

Objectives:

- 1) To ensure that laneways are constructed in a manner which promotes activation and safety through regular use and both active and passive surveillance.
- 2) To provide development that is of a scale and architectural quality that contributes to the laneways' streetscape.
- 3) To provide a visually acceptable streetscape through landscaping, articulation and setbacks along the laneways and through limiting laneway length.
- 4) To ensure the laneway's use as a service corridor is not compromised by a design which encourages inappropriate, unsafe parking, encourages the erection of obstructions or otherwise prevents the passage of service and resident vehicles.
- 5) To provide vehicular access to the rear or side of lots where front access is restricted or not possible, particularly narrow lots where front garaging is not permitted.
- 6) To reduce garage dominance in residential streets.
- 7) To maximise on-street parking spaces and landscaping in residential streets.
- 8) To facilitate the use of attached and narrow lot housing.
- 9) A continuous run of studio dwellings or small lots along the lane is to be avoided, as

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it changes the character, purpose and function of the lane.

Controls:

- a) *Laneways shall be limited in length as provided in Section 5.0 of this DCP and constructed with decorative elements in the pavement to break up the laneway surfaces.*
- b) *Laneways in adjacent housing blocks shall not be continuous over access streets to prevent the appearance of long, gun barrel laneways unless appropriate measures such as using staggered laneways are taken to eliminate the gun barrel effect.*

The proposed laneway will have a length of approximately 70m which complies with the maximum length of 80m specified within section 5 of this DCP. The proposed laneway contains decorative paving at each entry and is staggered at the entrance of Saphira Street to eliminate the gun barrel effect. A condition of consent will be imposed (if granted) requiring more stencilling / treatment to be provided within the laneway to avoid a "gun barrel" appearance.

- c) *No more than 1 in 4 dwellings (excluding street corner lots with studio dwelling at the lane entry) are to be studio dwellings.*

Two studio dwellings (Lots 1A and 2A) are proposed as part of this application for a total of 12 dwellings.

- d) *Straight layouts across the blocks are preferred for safety and legibility, but the detailed alignment can employ subtle bends to add visual interest and avoid long distance monotonous views, subject to meeting the minimum construction requirements for turning paths.*

Proposed lots 3 to 9 present as a straight rectangular layout, while Lots 2, 2A and 10 have a slight bend to avoid a long monotonous view and provide visual interest to the streetscape. The proposed laneway is straight for most of its length with landscaping, varying treatments and widths to provide visual interest and avoidance of monotonous views.

- e) *Rear fences to laneways shall be constructed so that they are a minimum 50% transparent material to improve surveillance of the laneway.*

Fencing is proposed for a small section that will be facing the laneway and towards the side of lots 1, 1A and 2A. This fence will not be situated on the rear boundary. These fences are proposed to have a height of 1.0m and 1.8m, with horizontal aluminium/timber slats with 10mm gaps. This fencing adheres to the requirements of this clause.

- f) *Articulation of building forms and fencing shall be interspersed with drought resistant soft landscaping to improve visual amenity. An area shall be provided on each laneway frontage to plant at least one medium sized tree. Landscaping treatments with pavers, gravel or similar hardstand materials is not acceptable.*

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Building form to the laneway has been sufficiently articulated and consists of a mixture of garages, carports and two studio dwellings and incorporates a mix of material to provide visual interest. A satisfactory landscaping plan has been provided which incorporates sufficient space for the provision of medium/small sized trees at either side of the entrance/exit to the laneway at Saphira Street and Helen Circuit and between lots 3 and 4, 5 and 6, 7 and 8 and 9 and 10. This will assist in softening the appearance of the built form to this laneway.

The landscaping proposed between these lots has not been specified, the plans will be red amended to specify that this landscaping is required to be drought resistant.

Furthermore, the building form consists of open and solid forms (garages and carports) within this façade that also assist with articulating this façade.

g) Laneways shall be provided with street lighting.

No lighting plan has been provided with this application. In accordance with the submitted SEE, Council, Essential Energy and GTPL are currently working together on a solution for lighting within public laneway to satisfy the requirements of both Council and Essential Energy. A recommended condition of consent (if granted) will be imposed requiring a lighting plan to be submitted showing suitable lighting within the public laneway.

h) The minimum garage doorway widths for manoeuvrability are 2.4, (single and 4.8m (double).

Two single garage for studio dwellings on Lots 1A and 2A and 3 double garage for dwellings on Lots 1, 2 and 10 are proposed with this application and they comply with the 2.4m (single) and 4.8m (double) doorway width requirement.

The remaining lots being Lots 3 - 9 consist of single and double carports with a mixture of no doorways and panel lift doorways. The proposed lots with panel lift doorways (Lots 5 and 6) comply with the 4.8m requirement for the doorways.

i) The configuration of the laneway, associated subdivision and likely arrangement of garages arising from that subdivision should create ordered, safe and tidy laneways by designing out ambiguous spaces and unintended uses such as casual parking, the storage of trailers, bin stacking etc.

The configuration of the laneway and associated subdivision and garage arrangements does not provide opportunities for unintended uses and is considered to be an orderly development of the site.

A 2.5m – 3.0m setback to one of the studio dwellings (studio dwelling on lot 1A) from the public laneway is to allow for the required balcony to be constructed within the allotment (overhanging the garage below). This area is unlikely to be

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<p>used for casual parking as it is too narrow, is impeded by columns supporting the balconies. It is also unlikely to be used for storage et cetera, as this area is required to gain access to the garages and the studio dwelling itself.</p> <p>j) <i>Passive surveillance along the laneway from the upper storey rooms is encouraged.</i></p> <p>Complies – Suitable passive surveillance opportunities have been created to the laneway from the proposed studio dwellings as well as from rear facing windows of two storey dwellings fronting Gorman Drive and dwelling on Lot 1 fronting Saphira Street.</p> <p>k) <i>Ground floor habitable rooms on laneways are to be avoided unless they are located on external corners (laneway with a street) and face the street to take advantage of the residential street for an address.</i></p> <p>Complies – No ground floor habitable rooms are “on” the laneway. <u>Note:</u> It is assumed that this control refers to parts of the ground floor of dwellings that have a zero setback to the laneway.</p>	
<p>7.4 Building Form and Design</p> <p>Objectives:</p> <ol style="list-style-type: none"> 1) <i>To ensure that the bulk, scale and height of proposed development provides good neighbour amenity and maintains an appropriate residential character.</i> 2) <i>To ensure that adequate sunlight access and ventilation for living areas and private open spaces of new and neighbouring dwellings is provided for.</i> 3) <i>Provide quality architecture through richness in detail and architectural interest and complementary to the particular Precinct within Googong.</i> 4) <i>Support the development of the town and neighbourhood centres of Googong as a separate rural town settlement.</i> 5) <i>Provide legibility of building function.</i> 6) <i>Maintain pedestrian scale in the articulation of details on lower levels.</i> 7) <i>Ensure that balconies are integrated into the overall architectural form and detail of residential buildings and contribute to the safety and liveliness of the street by allowing for casual overlooking and address.</i> 8) <i>Establish a high quality residential environment where all dwellings within residential buildings have a good level of amenity.</i> 9) <i>Encourage the development of mixed residential/commercial developments in the town and neighbourhood centres within easy walking distance to public transport.</i> 10) <i>Ensure that design of mixed use developments maintains residential amenities and preserves compatibility between uses.</i> 11) <i>Encourage façade articulation of individual buildings to enhance the streetscape, such as highlighting front entries to give the building a sense of</i> 	<p>Yes</p>

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<p><i>address.</i></p> <p>The proposed dwellings adequately address the streetscape with modulated building forms and articulated facades. Dwellings with 2 frontages appropriately address primary and secondary frontages and also well articulated. The bulk, scale and height of the proposed dwellings provides good neighbourhood amenity and maintains an appropriate residential character. The proposed dwellings have been designed taking into account the changes in topography within the parent superlot and have provided adequate ventilation and shading to living areas and private open spaces. All dwellings comply with their accompanying BASIX certificates.</p> <p>The two proposed studio dwellings are located at the rear of lots that have access from a rear lane. One of the proposed studio dwellings (Lot 1A) has a wide overhanging balcony facing the laneway. This is within the lot boundary and is unlikely to create an overly wide lane or ambiguous space. This cavity underneath the balcony is unlikely to be used for casual parking as it is too narrow, or access is impeded by columns supporting the balconies and adjoining landscaping. It is also unlikely to be used for storage as this area is required to gain access to the garages and studio dwelling above the garages. Balcony for dwelling on Lot 2A is facing Helen Circuit. Each studio dwelling has either a living area window, or both a balcony and living area window overlooking the laneway to provide adequate natural surveillance to this area.</p> <p>Large expanses of blank walls have been avoided and no 'glass box style' buildings are proposed. Balconies, awnings/porch and mixed use of materials and colours have been used to break up the blank walls within the development. Articulation zone has been provided to each dwellings and nothing encroaching more than 1.5m into the minimum front setback of the lot. However some of the articulation zone widths are greater than 60% allowed which is a variation to Council DCP. The maximum encroachment is 80.67% for Lot 5 and Lot 6. This variation has been addressed in Table 1 below.</p> <p>All building entries are clearly defined using a combination of modulated walls, awning/porch and a variety of external materials, textures and colours.</p> <p>The roof forms of the proposed dwellings are predominantly pitched hip, with some gables, skillions and parapets. There are no 'strong' colours proposed and the use of black (or dark charcoal colours) is minimal – (Refer to the submitted Streetscape Plan for an overview).</p> <p>Both studio dwellings are built over rear garages. A separation of 5m between the upper level of the studio dwelling (2A) and the upper level of the principal dwelling on lot 2 has been achieved which complies with the 5m requirement specified in this clause. A separation of 10.2m has been provided between the upper level of the studio dwelling (1A) and the upper level of the principal dwelling on Lot 1 which exceeds the 5m requirement specified in this clause.</p>	
<p>7.5 Height and Floor Space</p> <p>Objectives:</p>	<p>Yes</p>

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<p><i>1) To promote a mix of housing and to control the scale of development to promote a low to higher density residential environment.</i></p> <p>Refer to assessment under the QLEP 2012 (Clauses 4.3 and 4.4).</p>	
<p>7.6 Privacy and View Sharing</p> <p><i>Objectives:</i></p> <p><i>1) To provide visual and acoustic privacy in residential dwellings and associated private open spaces.</i></p> <p><i>2) To maximise opportunities for view sharing.</i></p> <p>The two storey dwellings have been appropriately designed and located to ensure that there are no direct views into private open space or sensitive areas of adjoining dwellings. Two storey dwellings primarily have windows overlooking the frontage of the allotment and the laneway to the rear, assisting in providing passive surveillance of these areas.</p> <p>The two storey dwellings have low activity rooms or non-habitable rooms on the first floor. The rooms on the first floor of these dwellings consist of bedrooms, bathrooms and a study nook. All of these rooms have windows overlooking their own individual private open space, resulting in views from these windows to be oblique, therefore minimising any privacy impacts on the neighbouring private open space(s). Also most of the dwellings are designed to have non-habitable rooms such as bathroom and laundry facing the adjoining lots which will minimise the overlooking issues. Other design measures have also been incorporated to minimise privacy impacts on neighbouring private open space areas from first floor windows, these include high sill windows, and for the study nook for dwelling house on lots 4, 7 and 8 a blade wall of 1.26m long protrudes past this window to reduce any direct outlooks from this room. Furthermore, separation of more than 9m has been provided between lot 1 and 1A upper level in conjunction with vegetation to reduce direct outlooks of the private open space of lot 1.</p> <p>The dwellings on Lot 3 and 9 are single storey. Any views from the windows or patio areas will be reduced by the 1.8m side boundary fencing.</p> <p>The two storey dwellings have been appropriately designed and located to ensure that there are no direct views into private open space or sensitive areas of adjoining dwellings.</p> <p>The two storey dwellings proposed on lots 4 - 8 are built on the zero lot line for both boundaries, with windows on the first floor flush within this elevation. This design prevents direct outlooks between habitable rooms, as it prevents any physical ability to view the neighbouring habitable windows. The combination of the dwellings being built on the zero lot line and having windows on the first floor at right angles to the</p>	<p>Yes</p>

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<p>boundaries, result in views from these windows being obscured, preventing direct outlooks that would impact on privacy.</p> <p>Lots 2 and 10 also have a one boundary on the zero lot line resulting in the first floor rooms, being prevented from having views of the habitable rooms of their neighbouring dwellings. These views are prevented as the windows on the first floor will be flush with the southern façade. This prevents the possibility of views of the habitable rooms.</p> <p>The dwelling on lot 2 has a habitable room (room 2) in upper level with window that face non-habitable rooms' windows within the studio dwelling on lot 2A. A 7.27m separation between these windows has been provided and is considered acceptable given that the overlooking issue is in between windows in habitable rooms and non-habitable rooms. Additionally the 9m requirement stated in this clause is only apply to habitable rooms.</p> <p>All of these design measures reduce overlooking of neighbouring private open space areas and thus complies with the requirements of this clause.</p> <p>The proposed development contains a mixture of single and two storey buildings and is considered unlikely to result in any significant view loss to any adjoining property.</p> <p>This clause also states that noise sources such as air conditioners, exhaust fans and like shall be sound insulated or located clear of bedrooms and the like. The proposed plans do not identify the location of air conditioners exhaust fans and the like. Based on the design, there is adequate space on site to locate such items clear of bedrooms and the like. The installation of such items would need to comply with the State Environmental Planning Policy (Exempt and Complying Developments Codes) 2008.</p>	
<p>7.7 Safety and Security</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> <i>1) Maximise personal and property security for residents and visitors by ensuring siting and design of built form and open space are planned to facilitate casual surveillance to decrease the opportunity for crime.</i> <i>2) Ensuring the community will utilise the streets, open space and other areas of the public realm with a perception of community safety.</i> <p>This clause has been addressed under Part 2.9 of the QDCP 2012 – Safe Design.</p>	Yes
<p>7.9 Pedestrian Access and Building Entries</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> <i>1) To promote developments which are well connected to the street and</i> 	Yes with condition

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<p><i>contribute to the accessibility of the public domain.</i></p> <p>2) <i>To ensure that all users of developments, including people with strollers, wheelchairs and bicycles, are able to reach and enter shop, office, apartment, other use areas, and communal areas via minimum grade ramps, paths, access ways or lifts.</i></p> <p>Pedestrian and vehicle access ways of all dwellings are separated and clearly distinguishable. Vehicle access of all dwellings other than 2 studio dwellings is from the public laneway at the rear and pedestrian accesses are from Gorman Drive and Saphira Street.</p> <p>Each of the two proposed studio dwellings is accessed separately from the principal dwelling through a stairwell attached to the ground floor single garage. The proposed studio dwellings are all rear loaded and vehicular access is from the rear laneway. Pedestrian access of studio dwelling 1A is from the rear laneway and pedestrian access for studio dwelling 2A is from Helen Circuit.</p> <p>The entrance of all dwellings is visible from the public street and laneway and clearly defined. Dwellings have been designed to provide a sense of ownership. A condition of consent (if granted) will be imposed requiring the dwellings to be clearly identified by a street number to enable easy identification.</p>	
<p>7.10 Principal Private Open Space and Landscape Design</p> <p>Objectives:</p> <ol style="list-style-type: none"> 1) <i>Landscape design shall optimise useability, privacy, equitable access and respect for neighbour's amenity as well as providing areas for deep soil planting.</i> 2) <i>Provide sufficient open space for the reasonable recreation needs of residents.</i> 3) <i>Allow northerly aspect into the principal private open space of new residential buildings.</i> 4) <i>Provide for landscaping that is low maintenance in the long term without long term reliance on watering systems.</i> 5) <i>Private open space shall provide a pleasant outlook</i> <p>This clause states that the principal private open space is to be located behind the building line to the main street frontage, is oriented to the north where possible and is directly accessible from and adjacent to a habitable room other than a bedroom. For studio dwellings the principal private open space shall be in the form of a balcony, directly accessed off living space, having a minimum size of 12m² with a minimum dimension of 2m. It must be north facing where possible with a minimum of 3 hours solar access between 9am-3pm on 21 June.</p> <p>The principal private open spaces for the dwellings on lots 3-10 do not comply with the requirement above as they are located forward of the building line to the main street</p>	<p>Variation</p>

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frontage (facing Gorman Drive). However they comply with other requirements as they are oriented to the north/north-east and are directly accessible from a habitable room being the living area or meals room and comply with minimum dimension/size requirements. PPOS of the principal dwelling on Lot 2 is located to the side of the dwelling (partially located behind the building line), facing the secondary street (Helen Cct), is orientated to the north and is directly accessible from living area/meal room. PPOS of the dwelling on Lot 1 complies with the above requirement as it is located behind the building line to the main street frontage (Saphira Street), is oriented to the north and is directly accessible from a habitable room being the living area or meals room.

Each of the proposed studio dwellings is provided with a balcony directly accessed off a living area with a northern and north-western orientation. Each has a minimum dimension of 2m and an area more than 12m² and receives at least three hours of solar access between 9am and 3pm on 21 June.

On 13 April 2016 Council at its meeting supported the following recommendations to guide Council Assessing Officers and the developer to assess future small-lot housing development on the remaining undeveloped super-lots within the Additional Development Area (ADA) of Neighbourhood 1A.

- a) *Due to the noise impacts from Gorman Drive, any dwelling with PPOS proposed forward of the building line on a lot with frontage to Gorman Drive should be provided with a secondary area of private open space behind the building line that meets the minimum dimensions prescribed in the Googong DCP. This will mean that the affected dwellings will be provided with a functional secondary POS area that will be afforded greater acoustic privacy than the principal POS and, except for a period during mid-winter, will receive adequate amounts of solar access;*
- b) *Applications that propose PPOS forward of the building line should include shadow diagrams that show the length of time within the calendar year that the secondary POS behind the building line does not receive the minimum required solar access.*
- c) *The design must ensure that any overlooking into PPOS forward of the building line from within the development is avoided; and*
- d) *Consideration needs to be given to the cumulative impacts on the Gorman Drive streetscape from front fencing that is higher than 1.2m and less than 50% transparent. Visual impacts may be mitigated by such measures as the use of varying materials and varying heights.*

The applicant has submitted a variation request, stating that;

"North-facing lots including the subject site struggle to achieve the required levels of solar access to PPOS, when the open space is located at the rear of the dwelling or behind the building line. Locating PPOS behind the building line on north-facing lots and achieving the required levels of solar access to PPOS is not achievable without significantly widening the lots which prohibits the ability to propose and deliver smaller lots housing in the designated ADAs. The location of the PPOS is largely driven by the orientation of Gorman Drive which is set by topography and connectivity, and is defined

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in the approved structure plan and DA's. It is also noted that the requirement to restrict direct vehicular access to dwellings from Gorman Drive creates the opportunity for ample useable open space at the Gorman Drive frontage. Positioning the PPOS forward of the building line also contribute to the architectural variety of the streetscape through well-designed fencing and landscaping. It is recognised that the provision of PPOS forward of the building line presents a challenge for privacy. This is however, proposed to be addressed through a variety of measures without adversely impacting on the streetscape or for occupants. These measures include:

- *Well-designed fencing that does not dominate the street;*
- *Limiting fencing to a maximum height of 1.5m (eye height) (this exceeds the DCP requirements of maximum of 1.2m) whereby occupants, if seated, have complete privacy but when standing, have the opportunity to provide surveillance to the street; and*
- *Landscaped hedges that work with the fencing to give visual privacy and softening of the streetscape.*

Gorman Drive is a busy road with high volume traffic per day. Undeniable that the Gorman Drive will generate noise impacts on the dwellings facing Gorman Drive.

Variation to this clause in relation to the location of the principal private open space for the dwellings on lots 2-10 located forward of the building line/to the side of the dwelling is supported for the following reasons:

- a) It is impossible to provide the PPOS behind the building line that will receive adequate natural sunlight during mid-winter given the orientation of the allotments which resulted from the subdivision of the parent lot. All PPOS forward of the building line comply with the size, orientation and solar access mentioned above.
- b) Functional secondary POS areas have been provided behind the building line of the affected dwellings that act as an extension to the living area and meet the minimum size/dimensions. Secondary POS areas have greater acoustic privacy than the principal POS.
- c) The development have been appropriately design to minimise any overlooking into PPOS forward of the building line from within the development. The dwellings have been designed to have low activity rooms or non-habitable rooms on the first floor, for dwellings 2,4,5,6,7,8 and 10. The rooms on the first floor of these dwellings consist of bedrooms, bathrooms and a study nook. All of these rooms have windows that will face directly to the north overlooking their own individual private open space, resulting in views from these windows to be oblique, therefore minimising any privacy impacts on the neighbouring private open space(s). Balconies have been provided with privacy screens to minimise the privacy impact.
- d) Maximum 1.5m high see-through fencing has been provided at the front boundary and around the PPOS areas facing Gorman Drive. The proposed see-through type fencing with landscaping within the courtyard areas will provides visual interest and complement the existing and desire future streetscape.

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As mentioned above, the applicant is required to submit shadow diagrams showing the length of time within the calendar year that the secondary POS (SPOS) behind the building line does not receive the minimum required solar access. The new shadow diagrams showing the minimum solar access to at least 50% of the secondary POS of dwellings on Lots 3 – 10 between 9am and 3pm have been submitted and summarised in tables below.

1. Shadow diagrams between 1st February – 1st November

Dwelling (s)	Solar access received to 50% of Secondary POS
3	2 hours
4, 5, 6, 7, 8 & 10	4 hours
9	3 hours

2. Shadow diagrams between 1st March – 1st October

Dwelling (s)	Solar access received to 50% of Secondary POS
3	1.5 hours
4	3 hours
5 & 6	3 hours
7 & 8	4 hours
9	2.5 hours
10	3 hours

3. Shadow diagrams between 15 April – 15 September

Dwelling (s)	Solar access received to 50% of Secondary POS
3	1 hour to less than 50% of secondary POS
4	2 hours to less than 50% of secondary POS
5 & 8	3 hours
6 & 7	2 hours 30 mins
9	2 hours to less than 50% of secondary POS
10	2.5 hours

Based on the tables above, some SPOS received 3 hours or more sunlight and some received less than 3 hours sunlight to 50% of the SPOS and 3 dwellings received between 1 – 2 hours sunlight to less than 50% of the SPOS as shown on Table 3 above. This is a variation to the Council Resolution on 13 April 2016. This variation is supported for the following reasons:

- Dwellings on lots 3 – 10 have been provided with a PPOS area that received more than 3 hours sunlight, comply with the size and orientation which meet the requirements in the DCP. This SPOS is an additional area to the PPOS.
- The proposed SPOS will function/act as an extension to the living area and have greater acoustic privacy than the principal POS regardless the lack of the sunlight. SPOS also meet/exceed the minimum size/dimensions requirements specified for PPOS.
- Given the orientation of the lots resulted from the approved subdivision of the

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<p>parent lot, it is impossible to provide all private open space behind the building line that receive more than 3 hours sunlight within the calendar year.</p> <p>A landscape plan prepared by Spacelab Studio has been provided for each dwelling and studio proposed within this development. Each lot will receive three hours or more of solar access to 50% of their principal private open space on the 21st of June (Winter solstice) as per submitted shadow diagrams. At least one living area window in each dwelling receives at least three hours of sunlight between 9am and 3pm on the 21 June.</p> <p>Solar access and privacy to the principal private open space of neighbouring lots (Lots 1319, 1320, 1325, 1326, 1327 & 1328) is not to be significantly reduced or compromised. The submitted shadow diagrams show that each affected lot will receive three hours or more of solar access to 50% of their principal private open space on the 21st of June (Winter solstice).</p>	
<p>7.11 Carparking and Garages</p> <p>Objectives:</p> <ol style="list-style-type: none"> 1) <i>To ensure adequate provision of secure and accessible onsite parking for residents and visitors.</i> 2) <i>To integrate adequate car parking and servicing access without compromising street character, landscape or pedestrian amenity and safety.</i> 3) <i>Provide safe and functional parking areas.</i> 4) <i>To integrate the location and design of car parking with the design of the site and the building.</i> 5) <i>Ensure the dwelling façades are dominant, with the garage a recessive element in the streetscape.</i> <p>Refer Table 1 below for detailed assessment of these matters. All car parking structures are accessed from the public rear laneway. Car parking has been provided in a mix of enclosed garages and open carports with panel lift doors in order to prevent garaging dominating the laneway and to provide increased opportunities for passive surveillance of the laneway.</p> <p>All proposed off-street car parking including a single garage for each studio dwelling comply with the Australian Standard and controls in Part 2 of the QDCP 2012 or in Tables 1, 2 and 3 of Part 7 of Googong DCP.</p> <p>The proposed rear loaded garages and carports are setback from between 0m and 2.5m.</p> <p>Each of the proposed studio dwellings has been provided with a single garage that is attached to the garage for the associated principal dwelling. One of the studio dwelling/garage buildings also has one side with a zero setback.</p>	<p>Yes</p>

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<p>Adequate provision of secure and accessible onsite parking spaces for residents have been provided without compromising street character, landscape or pedestrian amenity and safety.</p>	
<p>7.12 Site Facilities</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> 1) <i>To have adequate provision made for site facilities including: garbage areas, mail boxes, service meters etc.</i> 2) <i>To have site facilities that are functional, accessible and easy to maintain.</i> 3) <i>To have site facilities thoughtfully and sensitively integrated into development so as not to be obtrusive, noisy or unsightly.</i> <p>Domestic waste collection services are available for future residents of each dwelling and adequate area is available for storing domestic waste bins within each allotment screened from public view. Bin pads have been provided within the laneway verge to accommodate bins for 8 dwellings (dwellings 1A and 3 - 9) for collection. Bins for dwellings 1 and 10 will be placed on the road reserve of Saphira Street and bins for dwelling 2 and studio dwelling 2A will be placed on the road reserve of Helen Circuit for collection. A condition of consent will be imposed requiring the bin pads allocated to dwellings 1A and 3 - 9 must be clearly numbered to ensure only those dwellings use the allocated spaces. Also a condition will be imposed requiring all bins to be stored within each allotment to ensure no bins store within the laneway.</p> <p>Each dwelling has been provided with a letter-box that is accessible from Gorman Drive, Saphira Street and Helen Circuit. A standard condition of consent will be imposed requiring each dwelling to be provided with a street number to enable easy identification.</p> <p>Each dwelling has also been provided with a lockable external store of waterproof construction with a minimum volume of 6m³ except dwellings on lots 3 and 9 do not comply with the 6m³ requirement (only 5.3m³ proposed) and no external storage has been provided for dwellings/studio dwellings on lots 1, 1A, 2, 2A and 10. A recommended condition of consent (if granted) will be imposed requiring each dwelling to be provided with a 6m³ lockable external storage.</p> <p>All dwellings are to be provided with secure, open air clothes drying facilities in the rear yard, screened from street view.</p> <p>Separate servicing is provided for each lot and therefore complies with the requirements of this clause.</p>	<p>Yes</p>
<p>7.13 Studio Dwellings and Small Lots</p>	<p>Yes</p>

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Objectives:

- 1) *Studio dwellings provide passive surveillance and monitor laneway activities.*
- 2) *Studio dwellings and small lots of 130-170m² are to be rear loaded.*
- 3) *Studio dwellings and small lots do not detrimentally impact the amenity of adjoining residential land (overshadowing, privacy or visual).*
- 4) *Studio dwellings are developed in a complementary architectural style to the principal dwelling.*
- 5) *Design quality of corner lots should be considered in terms of streetscape, setback, solar access and parking.*

The proposal involves the erection of 2 studio dwellings (dwellings 1A and 2A) to be located above the garages at the rear of principal dwellings on Lots 1 and 2. Both studio dwellings have one bedroom and 1 car space within a single garage with access off public laneway.

The proposed studio dwellings are appropriately located on the site to provide passive surveillance to the laneway and Helen Circuit (studio dwelling 2A) from living areas and balconies. The proposed studio dwellings are all rear loaded, i.e., they are located at the rear of the Development Lot and vehicular access is from the rear laneway. Pedestrian access of studio dwelling 1A is from the rear laneway and pedestrian access for studio dwelling 2A is from Helen Circuit.

As discussed previously in this Report, the proposed studio dwellings do not detrimentally impact the amenity of adjoining residential allotments (overshadowing, privacy or visual). Adequate separations have been provided between the habitable rooms on the ground/upper floor of principal dwellings on Lots 1 and 2 and the proposed studio dwelling (lots 1A and 2A). There are no overlooking issues from both studio dwellings to the principal dwellings' living areas and POS as no windows are provided on the southern and northern elevation of studio dwellings 1A and 2A.

The proposed studio dwellings are of a similar design to the associated principal dwelling and incorporate similar materials and architectural features which reduce the bulk and scale of the proposed studios. They are consistent with the overall design of the dwellings within this development application and complement the architecture style of the principal dwellings.

The proposed dwelling on the corner lots 1, 2 and 10 address both streetscapes through the provision of articulation, modulation, landscaping and the provision of open style fencing to a height of 1.0-1.5m and setbacks. Furthermore, the amenity of the future residents has been considered through the provision of northern POS and living areas that will provide adequate privacy to these dwellings through the provision of higher fencing of these sections. Parking is also rear loaded and will therefore not within the secondary or primary frontage, this proposed parking adequately services these lots.

The proposed studio dwellings are considered to be generally consistent with this

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clause.	
<p>7.14 Thermal Performance</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> 1) <i>To reduce the necessity for mechanical heating and cooling.</i> 2) <i>To reduce reliance on fossil fuels.</i> 3) <i>To minimise greenhouse gas emissions.</i> 4) <i>To promote renewable energy initiatives.</i> 5) <i>Buildings shall be designed to take advantage of energy saving technology such as solar panels.</i> <p>BASIX certificates have been submitted for each dwelling and these include measures that will achieve the required energy and water efficiency targets. The application will be conditioned to comply with the commitments made in the BASIX Certificates.</p>	<p>Yes with condition</p>
<p>7.15 Solar Access</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> 1) <i>Allow adequate daylight into habitable room windows.</i> 2) <i>Minimize the degree of over shadowing of neighbouring properties.</i> 3) <i>Encourage energy efficient principles and practices.</i> <p>All of the proposed dwellings have some or all of their living area windows with a north, north-easterly and north-westerly orientation which is appropriate given the shape of the lots. All areas of PPOS have a north, north-easterly and north-westerly orientation.</p> <p>Shadow diagrams have been submitted for the proposed development for each hour between 9am and 3pm on the winter solstice. All of the proposed dwellings receive satisfactory amounts of sunlight to the PPOS.</p> <p>The dwellings contain eaves which aid in limiting the amount of direct sunlight to windows.</p>	<p>Yes</p>
<p>7.16 Energy and Natural Ventilation</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> 1) <i>Improve the energy efficiency and comfort of housing by designing to make the best use of natural ventilation.</i> 2) <i>Reduce energy consumption within the Googong township.</i> 	<p>Yes</p>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
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<p>3) <i>Promote greater energy efficiency and ecologically sustainable development.</i></p> <p>The buildings are generally designed and orientated to take into account a northerly aspect and to access prevailing breezes. All dwellings are to be provided with secure, open air clothes drying facilities to reduce energy consumed by clothes drying machines. Natural ventilations of all dwellings have been achieved by permanent openings, windows and doors.</p>	
<p>7.17 Waste Management</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> 1) <i>To plan for the types, amount and disposal of waste to be generated during demolition, excavation and construction.</i> 2) <i>To encourage waste minimisation, including source separation, reuse and recycling.</i> 3) <i>To ensure efficient storage and collection of waste and quality design of facilities.</i> <p>The imposition of standard conditions will manage the disposal of waste generated during the construction and ongoing use of the development. Domestic waste collection services are available for future residents of each dwelling and adequate area is available for storing domestic waste bins within each allotment.</p> <p>Bin pads have been provided within the laneway verge to accommodate bins for 8 dwellings (dwellings 1A and 3 - 9) for collection. Bins for dwellings 1 and 10 will be placed on the road reserve of Saphira Street and bins for dwelling 2 and studio dwelling 2A will be placed on the road reserve of Helen Circuit for collection. A condition of consent will be imposed requiring the bin pads allocated to dwellings 1A and 3 - 9 must be clearly numbered to ensure only those dwellings use the allocated spaces. Also a condition will be imposed requiring all bins to be stored within each allotment to ensure no bins store within the laneway.</p>	<p>Yes with conditions</p>
<p>7.18 Water Conservation</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> 1) <i>To optimise the conservation of potable water.</i> 2) <i>To minimise impacts of development on the stormwater system of receiving waters.</i> <p>The proposed dwellings appear capable of being connected to the Googong reticulated alternative water supply system. Ensuring the system is connected to the appropriate</p>	<p>Yes</p>

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<p>fixtures will form part of the water plumbing inspection.</p> <p>The applicant has submitted a BASIX certificate for each dwelling which identifies various water conservation measures to be incorporated within the building.</p>	
<p>7.19 Stormwater Management and Flooding</p> <p><i>Objectives:</i></p> <ol style="list-style-type: none"> 1) <i>To control stormwater runoff and minimise discharge impacts on adjoining properties and into natural drainage systems before, during and after construction.</i> 2) <i>To prevent flood damage to the built and natural environment, inundation of dwellings and stormwater damage to properties.</i> 3) <i>To ensure that proposed development does not adversely affect the operational capacity of the downstream stormwater system.</i> 4) <i>To encourage reuse, recycling and harvesting of stormwater to reduce wastage.</i> <p>Council's Development Engineer has assessed the proposed application and advised that the proposed access lane has a inter allotment stormwater main in the centre with pits for overland flow. A condition of consent will be imposed (if granted) to control the discharge of stormwater to Council's system.</p>	<p>Yes with condition</p>

The following Table 1 Assessment applies to Lots 3 and 9

GOOGONG DCP – PART 7 - Table 1			
Control	130m ² < 170m ²	Comments	
Lot width (min)	4.5m	Complies – 4.8m proposed.	
Site coverage (max)	70% including all ancillary buildings	Complies – See table below;	
		Lot	Site coverage
		3	66.6%
		9	66.6%
Building height (max)	As per QLEP 2012	Complies – Maximum height is stated under Clause 4.3, the proposed heights of the dwellings are less than the 12m requirements.	

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1				
Control	130m ² < 170m ²	Comments		
Front setback (excluding garages and carports) (min)	3.0m	Complies – See table below;		
		Front setback		
		Lot	Ground level	Upper level
		3	3.5m	NA – Single storey
		9	4.0m	NA – Single storey
Side setback (min)	0.9m (0m for zero lot line) Zero lot line to both side boundaries is accepted but must only extend 60% of the lot length for the ground floor. The extension of the zero lot line for the 2nd storey will be assessed on merit. Note: Detached garages are not included in calculations.	Both dwellings have a zero lot line with a wall length not greater than 60% of the lot length.		
		Both dwellings are single storey buildings.		
Rear setback (min) to private or public laneway for a garage of carport	0m	Complies – The proposed lots all propose 0m rear setbacks to the public laneway for the garages and carports.		
Corner Lot – Secondary street setback (excluding garages and carports)	1.5m	N/A – Not a corner lot.		
Articulation of front facade	Articulation element of 1.5m is encouraged.	Complies – 1.2m x 3.42m front porch is proposed for both Lots 3 and 9.		

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
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GOOGONG DCP – PART 7 - Table 1		
Control	130m² < 170m²	Comments
Landscaped area (min) (Permeable area, grasses, trees, etc)	Not applicable	<i>Complies – All of the lots have a landscaped area of approximately 10.6% of the lot area.</i>
Principal private open space (PPOS) Minimum area	16m ² PPOS is to be directly accessible from living areas, with a minimum width of 3m.	<i>Complies – Minimum of 19m² PPOS provided, directly accessible from living areas and with a minimum width of 4.8m.</i>
Solar access to PPOS as measured between 9am and 3pm on 21 June	Private open space will be North facing where practical. Minimum 3hrs to 50% of principal open space. 3hrs to adjoining living room windows and PPOS on neighbour's land.	<i>Complies – All PPOS areas have a northerly/north-easterly orientation and will receive more than 3 hours of solar access to 50% of the PPOS including neighbouring land between 9am – 3pm on the 21st of June (Winter Solstice).</i>
Car parking spaces	1 space for 1 bedroom dwellings and 2 spaces for 2 or more bedroom dwellings. Car spaces can be uncovered and stacked and are not to replace PPOS. Car parking spaces forward of the front building line are to be uncovered and not enclosed.	<i>Complies – Both dwellings have one car parking spaces in a carport accessible from the private laneway.</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Control	130m ² < 170m ²	Comments
Earthworks	1.5m maximum cut and fill	<i>Complies – Bulk earthworks have been approved and carried out at previous subdivision works stage. Only minor additional earthworks will be required for the construction of the proposed dwellings.</i>
Garage to house frontage (front façade only)	Not applicable	<i>N/A – Carport is proposed at the rear.</i>
Clothes drying	Provide open air clothes drying area screened from public street	<i>Complies – An area behind the building line for accommodating a clothes drying area is available in the rear yard screened from public view.</i>
Fences and retaining walls	<p><u>Front (Primary)</u> Maximum height of 1.2m and be predominantly open in design.</p> <p><u>Front (Secondary)</u> Maximum height to secondary street frontage is 1.8m for 50% of depth of the lot. If the fence extends beyond 50% of the lot depth this part is subject to the front fencing control above.</p> <p><u>Side</u> Side fences between residential lots are to start at least 1m behind the primary building frontage of the dwelling.</p>	<i>Refer to Clause 7.2 of the Googong DCP for more details. No details of any retaining walls are provided.</i>
Garbage area	Locate 3 bins behind building line. Garbage areas are not serviced from any laneway.	<p><i>Complies – An area behind the building line is capable of storing the necessary bins.</i></p> <p>Bin pads have been provided within the laneway to accommodate bins for both dwellings. A condition of consent will be imposed requiring the bin pads allocated to dwellings 1A, 3 - 9 must be clearly numbered to</p>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Control	130m ² < 170m ²	Comments
		ensure only those dwellings use the allocated spaces. Also a condition will be imposed requiring all bins to be stored within each allotment to ensure no bins store within the laneway.

The following Table 1 Assessment applies to proposed Lots 4 – 8 & Lot 10.

GOOGONG DCP – PART 7 - Table 1			
Control	170m ² < 330m ²	Comments	
Lot width (min)	6.0m	Complies – All lots have a lot width between 6.2m – 9m.	
Site coverage (max)	70% including all ancillary buildings	Complies – See table below;	
		Lot	Site coverage
		4	53.7%
		5	56.3%
		6	56.3%
		7	53.7%
		8	53.7%
		10	35.8%
Building height (max)	As per QLEP 2012	Complies – Maximum height is stated under Clause 4.3, the proposed heights of the dwellings are less than the 12m requirements.	
Front setback (excluding garages and carports) (min)	3.0m	Complies – See table below;	
			Front setback
		Lot	Ground levelUpper level
		4	4.5m4.5m
		5	4.5m4.5m 3.5m (balcony)
		6	4.5m4.5m 3.5m (balcony)
		7	4.5m4.5m
		8	4.5m4.5m
		10	4.5m4.5m 3.36m (balcony)
Side setback (min)	0.9m (0m for zero lot line)	Complies – 0m – 3.5m proposed.	
		The dwellings that have a zero lot line have a wall	

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1																								
Control	170m ² < 330m ²	Comments																						
	<p>Zero lot line to both side boundaries is accepted but must only extend 60% of the lot length for the ground floor.</p> <p>The extension of the zero lot line for the 2nd storey will be assessed on merit.</p> <p>Note: Detached garages are not included in calculations.</p>	<p><i>length not greater than 60% of the lot length.</i></p> <p><i>Lots 4-8 & 10 have a second storey that extends for between 31.4% - 40.7% of the length of the lot. The location of the upper floor has mirrored the lower floor and it is considered to be acceptable as there are no resulting adverse amenity impacts.</i></p>																						
Rear setback (min) to private or public laneway for a garage of carport	0m	<p><i>Complies – The proposed lots all propose rear setbacks between 0m – 1m to the public laneway for the garages and carports.</i></p>																						
Corner Lot – Secondary street setback (excluding garages and carports)	<p>1.5m – for lots 170m² < 250m²</p> <p>2.0m – for lots 250m² < 330m².</p>	<p><i>Complies - One corner lot with an area between 170<330m² is proposed, being Lot 10 (bounded by Gorman Dr and Saphira St). Therefore the 2m setback is applicable to this lot. More than 2m setback has been provided for Lot 10 to Saphira St.</i></p>																						
Articulation of front facade	Measured from the minimum setback of the lot, 1.5m encroachment for 60% of the dwelling width on the side at which the articulation zone is proposed.	<p><i>Variation – See table below;</i></p> <table><tr><th>Lot</th><th>Encroachment to front setback</th><th>Width proposed exceed 60%</th></tr><tr><td>4</td><td>No encroachment</td><td>64.84%</td></tr><tr><td>5</td><td>No encroachment</td><td>80.67%</td></tr><tr><td>6</td><td>No encroachment</td><td>80.67%</td></tr><tr><td>7</td><td>No encroachment</td><td>64.84%</td></tr><tr><td>8</td><td>No encroachment</td><td>64.84%</td></tr><tr><td>10</td><td>No encroachment</td><td>63.39%</td></tr></table> <p>Variation</p> <p><i>Setback for articulation zone to all dwellings complies</i></p>		Lot	Encroachment to front setback	Width proposed exceed 60%	4	No encroachment	64.84%	5	No encroachment	80.67%	6	No encroachment	80.67%	7	No encroachment	64.84%	8	No encroachment	64.84%	10	No encroachment	63.39%
Lot	Encroachment to front setback	Width proposed exceed 60%																						
4	No encroachment	64.84%																						
5	No encroachment	80.67%																						
6	No encroachment	80.67%																						
7	No encroachment	64.84%																						
8	No encroachment	64.84%																						
10	No encroachment	63.39%																						

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63
Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Control	170m ² < 330m ²	Comments
		<p><i>with nothing exceeds 1.5m.</i></p> <p><i>Articulation zone width of between 63.39% and 80.67% is proposed.</i></p> <p><i>All lots have the width of articulation zoned greater than 60%. The maximum encroachment is 80.67% for Lot 5 and Lot 6.</i></p> <p><i>The proposed variations are considered to be minor, especially when viewed in the context of the entire Gorman Drive, Helen Circuit and Saphira Street streetscape, and that all of the articulation zone elements do not encroaching into the front setback.</i></p> <p><i>The variations are not considered to reflect an overdevelopment of the site and can be supported in this instance.</i></p>
Landscaped area (min) (Permeable area, grasses, trees, etc)	<p>10% of the area of the lot</p> <p>50% of the landscaped area must be located behind the building line of the primary road.</p>	<p><i>Complies – All of the lots have a landscaped area of more than 10%.</i></p> <p><i>The majority of the landscaping is behind the building line and exceeds the 50% sought.</i></p>
Principal private open space (PPOS) Minimum area	<p>24m² PPOS is to be directly accessible from living areas, with a minimum width of 3m.</p> <p>Where lots have a width of at least 6m but less than 10m, the POS can be reduced to 16m²</p>	<p><i>Complies – Minimum of 24m² PPOS provided, directly accessible from living areas and with a minimum width exceeding 3m.</i></p>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong

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GOOGONG DCP – PART 7 - Table 1		
Control	170m² < 330m²	Comments
Solar access to PPOS as measured between 9am and 3pm on 21 June	<p>Private open space will be North facing where practical.</p> <p>Minimum 3hrs to 50% of principal open space.</p> <p>3hrs to adjoining living room windows and PPOS on neighbour's land.</p>	<i>Complies – All PPOS areas have a northerly/north-easterly orientation and will receive more than 3 hours of solar access to 50% of the PPOS between 9am – 3pm on the 21st of June (Winter Solstice).</i>
Car parking spaces	<p>1 space for 1 bedroom dwellings and 2 spaces for 2 or more bedroom dwellings.</p> <p>Car spaces can be uncovered and stacked and are not to replace PPOS.</p> <p>Car parking spaces forward of the front building line are to be uncovered and not enclosed.</p>	<i>Complies – All dwellings have one or two car parking spaces in a double garage or carport accessible from the private laneway.</i>
Earthworks	1.5m maximum cut and fill	<i>Complies – Bulk earthworks have been approved and carried out at previous subdivision works stage. Only minor additional earthworks will be required for the construction of the proposed dwellings.</i>
Garage to house frontage (front façade only)	All door openings must not exceed 3.2m or if the lot is greater than 12m wide, garage doors must not exceed 6m	<i>Complies – The door openings for the garages will not exceed the requirements specified within this clause.</i>
Clothes drying	Provide open air clothes drying area screened from public street	<i>Complies – An area behind the building line for accommodating a clothes drying area is available in the rear yard screened from public view.</i>

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GOOGONG DCP – PART 7 - Table 1		
Control	170m ² < 330m ²	Comments
Fences and retaining walls	<p><u>Front (Primary)</u> Maximum height of 1.2m and be predominantly open in design.</p> <p><u>Front (Secondary)</u> Maximum height to secondary street frontage is 1.8m for 50% of depth of the lot. If the fence extends beyond 50% of the lot depth this part is subject to the front fencing control above.</p> <p><u>Side</u> Side fences between residential lots are to start at least 1m behind the primary building frontage of the dwelling.</p>	<p><i>Refer to Clause 7.2 of the Googong DCP for more details. No details of any retaining walls are provided.</i></p>
Garbage area	<p>Locate 3 bins behind building line. Garbage areas are not serviced from any laneway.</p>	<p><i>Complies – An area behind the building line is capable of storing the necessary bins.</i></p> <p>Bin pads have been provided within the laneway to accommodate bins for 8 dwellings (dwellings 1A, 3, - 9) for collection. Bins for dwellings 1 and 10 will be placed on the verge at Saphira Street and bins for dwellings 2 and 2A will be placed on the verge at Helen Circuit for collection. A condition of consent will be imposed requiring the bin pads allocated to dwellings 1A, 3 - 9 must be clearly numbered to ensure only those dwellings use the allocated spaces. Also a condition will be imposed requiring all bins to be stored within each allotment to ensure no bins store within the laneway.</p>

The following Table 1 Assessment applies to proposed Lot 2

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
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GOOGONG DCP – PART 7 - Table 1										
Note: Lot 2 – 373m ² (combination of Lots 2 and Lot 2A). Studio dwelling has been discussed in a separate table below.										
Control	170m ² < 330m ²	Comments								
Lot width (min)	10.0m	Complies –13.655m proposed.								
Site coverage (max)	70% including all ancillary buildings	Complies – See table below;								
		<table><tr><td>Lot</td><td>Site coverage</td></tr><tr><td>2 & 2A</td><td>41.13%</td></tr></table>	Lot	Site coverage	2 & 2A	41.13%				
Lot	Site coverage									
2 & 2A	41.13%									
Building height (max)	As per QLEP 2012	Complies – Maximum height is stated under Clause 4.3, the proposed heights of the dwellings are less than the 12m requirements.								
Front setback (excluding garages and carports) (min)	3.0m	Complies and variation to Lot 2 balcony – See table below;								
		<table><tr><td></td><td colspan="2">Front setback</td></tr><tr><td>Lot</td><td>Ground level</td><td>Upper level</td></tr><tr><td>2</td><td>4.0m</td><td>3.5m 2.51m (balcony)</td></tr></table> <p>There is a minor variation proposed to the 3.0m front setback of the upper level (balcony). As shown above, the balcony is located 2.51m from the front boundary. The encroachment to the front boundary is considered minor and is acceptable for the following reasons;</p> <p>a) Balcony provides variation and articulation to the building façade. The 490mm encroachment occupies only 33.5% of the overall dwelling frontage which is less than 60% allowed for the articulation zone.</p> <p>b) The proposed balcony is facing the Gorman Drive. It will not adversely impact on adjoining properties by way of privacy or overshadowing, nor will it adversely affect the amenity of the locality.</p>			Front setback		Lot	Ground level	Upper level	2
	Front setback									
Lot	Ground level	Upper level								
2	4.0m	3.5m 2.51m (balcony)								
Side setback (min)	0.9m (0m for zero lot line)	Complies – 0m – 3.5m proposed.								
	Zero lot line to both side boundaries is accepted but must only extend 60% of the lot length for the ground floor. The extension of the	Lot 2 has a second storey that extends for 31.4% of the length of the lot. The location of the upper floor has mirrored the lower floor and it is considered to be acceptable as there are no resulting adverse amenity impacts.								

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1				
Note: Lot 2 – 373m ² (combination of Lots 2 and Lot 2A). Studio dwelling has been discussed in a separate table below.				
Control	170m ² < 330m ²	Comments		
	zero lot line for the 2nd storey will be assessed on merit. Note: Detached garages are not included in calculations.			
Rear setback (min) to private or public laneway for a garage of carport	0m	Complies – The proposed lot has a rear setback 1m – 1.5m to the public laneway for the garages.		
Corner Lot – Secondary street setback (excluding garages and carports)	1.5m – for lots 170m ² < 250m ² 2.0m – for lots 250m ² < 330m ² .	Complies - Lot 2 (bounded by Gorman Dr and Helen Cct) has an area of 250m ² <330. Therefore the 2m setback is applicable to these lots. More than 2m setback has been provided for Lot 2 to Helen Cct.		
Articulation of front facade	Measured from the minimum setback of the lot, 1.5m encroachment for 60% of the dwelling width on the side at which the articulation zone is proposed.	Variation – See table below;		
		Lot	Encroachment to front setback	Width proposed exceed 60%
		2	490mm to upper level (balcony)	49.9%
		Variation Setback for articulation zone complies with nothing exceeds 1.5m. Articulation zone width of 49.9% is proposed. As mentioned above Lot 2 articulation zone element extends into the front setback for a distance that is less than permitted (1.5m). The balcony is located 2.51m from the front boundary. The encroachment to the front boundary is considered minor and is acceptable for the following reasons:		

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Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63
Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Note: Lot 2 – 373m² (combination of Lots 2 and Lot 2A). Studio dwelling has been discussed in a separate table below.		
Control	170m² < 330m²	Comments
		<p>a) <i>Balcony provides variation and articulation to the building façade. The 490mm encroachment occupies only 33.5% of the overall dwelling frontage which is less than 60% allowed for the articulation zone.</i></p> <p>b) <i>The proposed balcony is facing the Gorman Drive. It will not adversely impact on adjoining properties by way of privacy or overshadowing, nor will it adversely affect the amenity of the locality.</i></p> <p><i>The variations are not considered to reflect an overdevelopment of the site and can be supported in this instance.</i></p>
Landscaped area (min) (Permeable area, grasses, trees, etc)	<p>10% of the area of the lot</p> <p>50% of the landscaped area must be located behind the building line of the primary road.</p>	<p><i>Complies – The lot has a landscaped area of 10% or more.</i></p> <p><i>The majority of the landscaping is behind the building line and exceeds the 50% sought.</i></p>
Principal private open space (PPOS) Minimum area	<p>24m² PPOS is to be directly accessible from living areas, with a minimum width of 3m.</p> <p>Where lots have a width of at least 6m but less than 10m, the POS can be reduced to 16m²</p>	<i>Complies – Minimum of 24m² PPOS provided, directly accessible from living areas and with a minimum width exceeding 3m.</i>
Solar access to PPOS as measured between 9am	Private open space will be North facing where practical.	<i>Complies –PPOS area has a north-westerly orientation and will receive more than 3 hours of solar access to 50% of the PPOS between 9am – 3pm on the 21st of June (Winter Solstice).</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Note: Lot 2 – 373m² (combination of Lots 2 and Lot 2A). Studio dwelling has been discussed in a separate table below.		
Control	170m² < 330m²	Comments
and 3pm on 21 June	Minimum 3hrs to 50% of principal open space. 3hrs to adjoining living room windows and PPOS on neighbour's land.	
Car parking spaces	1 space for 1 bedroom dwellings and 2 spaces for 2 or more bedroom dwellings. Car spaces can be uncovered and stacked and are not to replace PPOS. Car parking spaces forward of the front building line are to be uncovered and not enclosed.	<i>Complies – Two car parking spaces in a double garage accessible from the private laneway.</i>
Earthworks	1.5m maximum cut and fill	<i>Complies – Bulk earthworks have been approved and carried out at previous subdivision works stage. Only minor additional earthworks will be required for the construction of the proposed dwellings.</i>
Garage to house frontage (front façade only)	All door openings must not exceed 3.2m or if the lot is greater than 12m wide, garage doors must not exceed 6m	<i>Complies – The door openings for the garages will not exceed the requirements specified within this clause.</i>
Clothes drying	Provide open air clothes drying area screened from public street	<i>Complies – An area behind the building line for accommodating a clothes drying area is available in the rear yard screened from public view.</i>
Fences and retaining walls	<u>Front (Primary)</u> Maximum height of 1.2m and be predominantly open in design.	<i>Refer to Clause 7.2 of the Googong DCP for more details. No details of any retaining walls are provided.</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Note: Lot 2 – 373m ² (combination of Lots 2 and Lot 2A). Studio dwelling has been discussed in a separate table below.		
Control	170m ² < 330m ²	Comments
	<p><u>Front (Secondary)</u> Maximum height to secondary street frontage is 1.8m for 50% of depth of the lot. If the fence extends beyond 50% of the lot depth this part is subject to the front fencing control above.</p> <p><u>Side</u> Side fences between residential lots are to start at least 1m behind the primary building frontage of the dwelling.</p>	
Garbage area	Locate 3 bins behind building line. Garbage areas are not serviced from any laneway.	<p><i>Complies – An area behind the building line is capable of storing the necessary bins.</i></p> <p>Bins for dwelling 2 will be placed on the verge at Helen Circuit for collection. A condition of consent will be imposed requiring the bin to be stored within the allotment to ensure no bins store within the laneway.</p>

The following Table 1 Assessment applies to proposed Lot 1

GOOGONG DCP – PART 7 - Table 1		
Note: Lot 1 – 492m ² (combination of Lot 1 and Lot 1A). Studio dwellings have been discussed in a separate table below.		
Control	> 330m ²	Comments
Lot width (min)	12.0m for 450m ² <600m ²	<p><i>Variation</i></p> <p><i>Lot 1 (combination of Lot 1 (principal dwelling) and Lot 1A (studio dwelling)) is in the 450m² - 600m² range and is required to have a minimum lot width of 12m as a total</i></p>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63
Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1

Note: Lot 1 – 492m² (combination of Lot 1 and Lot 1A). Studio dwellings have been discussed in a separate table below.

Control	> 330m ²	Comments									
		<p>area is 492m². Lot 1 has a minimum lot width of 5.85m at the front boundary facing Saphira Street which is a variation to Council DCP.</p> <p>The applicant has submitted a variation request, stating that the variation was resulted from the irregular shape block created by the approved subdivision of the parent lot (DA 186-2013) and is considered minor and do not adversely impact on the amenity of any adjacent properties. Furthermore, the variation responds to the site constraints.</p> <p>The proposed variation is supported for the following reasons;</p> <ul style="list-style-type: none">a) No vehicle access is provided to Spahira Street from this front boundary. Garages have direct access to the public laneway. Only pedestrian access is provided from this front boundary.b) The narrow lot width will not impact on the building appearance or streetscape and proposed landscaping at the front boundary.c) Narrow frontage will not reduce the natural surveillance to/from dwelling to/from the street.d) The proposed building complies with the front building setback.									
Site coverage (max)	70% including all ancillary buildings	<p>Complies – See table below;</p> <table><tr><th>Lot</th><th>Site coverage</th></tr><tr><td>1 & 1A</td><td>36.1%</td></tr></table>	Lot	Site coverage	1 & 1A	36.1%					
Lot	Site coverage										
1 & 1A	36.1%										
Building height (max)	As per QLEP 2012	<p>Complies – Maximum height is stated under Clause 4.3, the proposed heights of the dwellings are less than the 12m requirements.</p>									
Front setback (excluding garages and carports) (min)	3.0m	<p>Complies – See table below;</p> <table><tr><th></th><th colspan="2">Front setback</th></tr><tr><th>Lot</th><th>Ground level</th><th>Upper level</th></tr><tr><td>1</td><td>4.0m – 4.84m</td><td>8.045m – 8.68m</td></tr></table>		Front setback		Lot	Ground level	Upper level	1	4.0m – 4.84m	8.045m – 8.68m
	Front setback										
Lot	Ground level	Upper level									
1	4.0m – 4.84m	8.045m – 8.68m									

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1

Note: Lot 1 – 492m² (combination of Lot 1 and Lot 1A). Studio dwellings have been discussed in a separate table below.

Control	> 330m ²	Comments
Side setback (min)	<p>0.9m (0m for zero lot line)</p> <p>Zero lot line to both side boundaries is accepted but must only extend 60% of the lot length for the ground floor.</p> <p>The extension of the zero lot line for the 2nd storey will be assessed on merit.</p> <p>Note: Detached garages are not included in calculations.</p>	<i>Complies – Minimum 900mm proposed.</i>
Rear setback (min) to private or public laneway for a garage of carport	0m	<i>Complies – The proposed lot proposes rear setback between 0m – 2m to the public laneway for the double garage.</i>
Corner Lot – Secondary street setback (excluding garages and carports)	<p>1.5m – for lots 170m² < 250m²</p> <p>2.0m – for lots 250m² < 330m².</p>	<p><i>Variation - Lot 1 is considered as a corner lot as it is bounded by a public laneway and Saphira St. Lot 1 has an area of approximately 492m² including an area for a studio dwelling (Lot 1A). Therefore the 2m setback is applicable to this lot. A 1.5m setback has been provided for Lot 1 to the public laneway which is considered as a secondary frontage for this lot. This is a variation to the 2m setback requirement. The proposed 500mm encroachment into the secondary street setback is considered a minor variation and is supported for the following reasons;</i></p> <ul style="list-style-type: none"> <i>a) The proposal will not reduce the architectural quality of the dwelling or landscape area.</i> <i>b) The encroachment is a part of a blade wall, entry and stairs, therefore the impact on the amenity of the residents is considered minimal.</i> <i>c) Boundary fence and landscape strip along the</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1

Note: Lot 1 – 492m² (combination of Lot 1 and Lot 1A). Studio dwellings have been discussed in a separate table below.

Control	> 330m ²	Comments						
		<i>laneway will partially screen the site and reduce the impact from the laneway.</i>						
Articulation of front facade	Measured from the minimum setback of the lot, 1.5m encroachment for 60% of the dwelling width on the side at which the articulation zone is proposed.	<p><i>Variation – See table below;</i></p> <table border="1"> <thead> <tr> <th>Lot</th><th>Encroachment to front setback</th><th>Width proposed exceed 60%</th></tr> </thead> <tbody> <tr> <td>1</td><td>No encroachment</td><td>78.48%</td></tr> </tbody> </table> <p>Variation to the width</p> <p><i>No encroachment is proposed to the front setback of Lot 1. However the width of the articulation zone exceeds 60% requirement (78.48% proposed).</i></p> <p><i>The proposed variations are considered to be minor, especially when viewed in the context of the entire Gorman Drive and Saphira Street streetscape, and that the articulation zone element does not encroaching into the front setback. The minimum width of the front boundary is 5.85m which is considered as a narrow frontage. Given the narrow frontage, it is impossible for the proposal to fully comply with 60% width requirement. The variation is not considered to reflect an overdevelopment of the site and can be supported in this instance. The front porch provides variation and articulation to the front façade.</i></p>	Lot	Encroachment to front setback	Width proposed exceed 60%	1	No encroachment	78.48%
Lot	Encroachment to front setback	Width proposed exceed 60%						
1	No encroachment	78.48%						
Landscaped area (min) (Permeable area, grasses, trees, etc)	<p>10% of the area of the lot</p> <p>50% of the landscaped area must be located behind the building line of the primary road.</p>	<p><i>Complies –The lot has a landscaped area of approximately 33.5% or more.</i></p> <p><i>The majority of the landscaping is behind the building line and exceeds the 50% sought.</i></p>						

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1

Note: Lot 1 – 492m² (combination of Lot 1 and Lot 1A). Studio dwellings have been discussed in a separate table below.

Control	> 330m²	Comments
Principal private open space (PPOS) Minimum area	<p>24m² PPOS is to be directly accessible from living areas, with a minimum width of 3m.</p> <p>Where lots have a width of at least 6m but less than 10m, the POS can be reduced to 16m²</p>	<i>Complies – Minimum of 24m² PPOS provided, directly accessible from living areas and with a minimum width exceeding 3m.</i>
Solar access to PPOS as measured between 9am and 3pm on 21 June	<p>Private open space will be North facing where practical.</p> <p>Minimum 3hrs to 50% of principal open space.</p> <p>3hrs to adjoining living room windows and PPOS on neighbour's land.</p>	<i>Complies – PPOS area has a northerly orientation and will receive more than 3 hours of solar access to 50% of the PPOS between 9am – 3pm on the 21st of June (Winter Solstice).</i>
Car parking spaces	<p>1 space for 1 bedroom dwellings and 2 spaces for 2 or more bedroom dwellings.</p> <p>Car spaces can be uncovered and stacked and are not to replace PPOS.</p> <p>Car parking spaces forward of the front building line are to be uncovered and not enclosed.</p>	<i>Complies – Dwelling has two car parking spaces in a double garage accessible from the private laneway.</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1

Note: Lot 1 – 492m² (combination of Lot 1 and Lot 1A). Studio dwellings have been discussed in a separate table below.

Control	> 330m²	Comments
Earthworks	1.5m maximum cut and fill	<i>Complies – Bulk earthworks have been approved and carried out at previous subdivision works stage. Only minor additional earthworks will be required for the construction of the proposed dwellings.</i>
Garage to house frontage (front façade only)	All door openings must not exceed 3.2m or if the lot is greater than 12m wide, garage doors must not exceed 6m	<i>Complies – The door openings for the garages will not exceed the requirements specified within this clause.</i>
Clothes drying	Provide open air clothes drying area screened from public street	<i>Complies – An area behind the building line for accommodating a clothes drying area is available in the rear yard screened from public view.</i>
Fences and retaining walls	<p><u>Front (Primary)</u> Maximum height of 1.2m and be predominantly open in design.</p> <p><u>Front (Secondary)</u> Maximum height to secondary street frontage is 1.8m for 50% of depth of the lot. If the fence extends beyond 50% of the lot depth this part is subject to the front fencing control above.</p> <p><u>Side</u> Side fences between residential lots are to start at least 1m behind the primary building frontage of the dwelling.</p>	<i>Refer to Clause 7.2 of the Googong DCP for more details. No details of any retaining walls are provided.</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Note: Lot 1 – 492m² (combination of Lot 1 and Lot 1A). Studio dwellings have been discussed in a separate table below.		
Control	> 330m ²	Comments
Garbage area	Locate 3 bins behind building line. Garbage areas are not serviced from any laneway.	<i>Complies – An area behind the building line is capable of storing the necessary bins.</i> Bins for dwellings 1 will be placed on the verge at Saphira Street for collection.

The following Table 1 Assessment applies to the two proposed studio dwellings (Lot 1A & 2A).

GOOGONG DCP – PART 7 - Table 1		
Control	Studio Dwellings on top of garages	Comments
Building height (max)	As per QLEP 2012	<i>Complies. All studio dwellings are located above the garages and complies with the maximum height requirements.</i>
Setbacks – Side (min)	0.9m	<p>Variation</p> <p><i>The two studio dwellings have one side setback of 0m including a balcony for studio dwelling 1A facing the public laneway. The variation is considered to be acceptable in this instance for the following reasons:</i></p> <ul style="list-style-type: none"> <i>In small-lot housing developments detached garaging is permitted to be built to the side boundary. Therefore, studio dwellings—which by definition must be erected above a garage—will often be located at the rear of a lot, adjacent to a property that also contains a garage to the rear with a zero lot line setback or public laneway. No discernible benefit is obtained by insisting on a 0.9m setback between a studio dwelling and a garage on an adjoining property, provided that the appearance of the development from the laneway remains acceptable;</i> <i>The two studios have a zero lot line with a length not exceeding 60% of the lot length</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
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GOOGONG DCP – PART 7 - Table 1		
Control	Studio Dwellings on top of garages	Comments
		<p><i>and complies.</i></p> <ul style="list-style-type: none"> <i>The two studios are setback from the other side or rear boundaries by at least 900mm – 3.7m, thus reducing the bulk and scale of their appearance and complies, and</i> <i>Council supported a zero lot line setback under similar circumstances for studio dwellings in DA 279-2015.</i>
Garage setback to front boundary	Not permitted	<i>N/A – No garage proposed at the front boundary. Garage facing the public laneway.</i>
Corner Lot – Secondary street setback for garages and carport (min)	As per garage setback (5.5m)	<p><i>The garages below both studio dwellings are setback between 1.0m and 2.5m from public laneway. A single garage for studio dwelling on Lot 1A is fronting the public laneway which is considered as a primary street and does not fronting Saphira Street. Therefore this studio dwelling is not located on a corner lot and the 5.5m requirement does not apply.</i></p> <p><i>The studio dwelling including it single garage on lot 2A is fronting the public laneway (primary street) and Helen Street (secondary street). The proposal does not comply with the 5.5m setback requirement. However, as specified in a Table below, a garage or carport is required to provide a zero setback from private or public laneways. The proposed single garage for studio dwelling is setback 1.5m from the laneway. The 5.5m setback requirement generally applies to an allotment with 2 street frontages other than public/private laneways. It is considered unreasonable to strictly apply the 5.5m setback requirement in this situation.</i></p>
Corner Lot – Secondary street setback (excluding garage and carports)	1.5m	<p><i>As mentioned above, the studio dwelling on Lot 1A is not considered located on a corner lot.</i></p> <p>Variation <i>However the 1.5m setback is considered relevant to a studio dwelling on Lot 2A as the</i></p>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63
Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Control	Studio Dwellings on top of garages	Comments
		<p>site is located on a corner lot, bounded by Helen Circuit (primary street) and public laneway (secondary street). The minimum setback of the studio dwelling from the public laneway is 1m which does not comply with the 1.5m requirement. The 500mm variation is considered minor and is acceptable for the following reason:</p> <ul style="list-style-type: none"> In small-lot housing developments detached garaging is permitted to be built with zero setback to private/public laneways. Therefore, studio dwellings—which by definition must be erected above a garage—will often be located at the rear of a lot, adjacent to a property that also contains a garage/carport to the rear with a zero lot line setback to public laneway. No discernible benefit is obtained by insisting on a 1.5m setback between a studio dwelling and a garage on an adjoining property, provided that the appearance of the development from the laneway remains acceptable.
Rear setback (min) to private or public laneway for a garage or carport	0m	<i>Complies – The garages below each studio dwelling are setback between 1.0m and 2.5m from public laneway.</i>
Principal private open space (PPOS) – Minimum area	12m ² - balcony only Minimum dimension of 2m	<i>Complies – Studio dwelling 1A is provided with a 16.28m² balcony and 14.5m² for studio dwelling 2A with a minimum dimension of 2.2m and 2.59m. In addition to the balcony, further private open space is provided at ground level for each studio dwelling.</i>
Solar access to principal private open space as measured between 9am and 3pm on 21	<p>Balcony to be north facing where practical.</p> <p>Minimum 3 hrs required</p> <p>Minimum 3hrs to adjoining</p>	<i>Complies – All balconies have a portion that is north facing and another which is north-westerly facing. The shadow diagrams submitted indicate that the balconies will receive an adequate level of sunlight and will not impede the provision of sunlight to the private open</i>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

GOOGONG DCP – PART 7 - Table 1		
Control	Studio Dwellings on top of garages	Comments
June	living room windows and PPOS on neighbour's land.	<i>space and living room windows of the adjoining dwellings.</i>
Car parking spaces	1 space	<i>Complies – Each studio dwelling is provided with one car parking space in a single garage.</i>
Earthworks	1.5m maximum cut and fill	<i>Complies – Bulk earthworks have been approved and carried out at previous subdivision works stage. Only minor additional earthworks will be required for the construction of the proposed dwellings.</i>
Fences and retaining walls	<p><u>Front (Primary)</u> Maximum height of 1.2m and be predominantly open in design.</p> <p><u>Front (Secondary)</u> Maximum height to secondary street frontage is 1.8m for 50% of depth of the lot. If the fence extends beyond 50% of the lot depth this part is subject to the front fencing control above.</p> <p><u>Side</u> Side fences between residential lots are to start at least 1m behind the primary building frontage of the dwelling.</p>	<i>Refer to Clause 7.2 of the Googong DCP for more details. No details of any retaining walls are provided.</i>
Garbage area	Locate behind building line. Garbage areas are not serviced from any laneway. A minimum of 3 waste bins required per dwelling.	<p><i>Complies – Each studio dwelling has a courtyard area at ground level where the required bins may be stored.</i></p> <p><i>Bins can be placed at the bin pads in laneway or on the verge of Helen Circuit for collection.</i></p>

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
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GOOGONG DCP COMMENTS	COMPLIES (Yes/No)
Part 8 – Environmental Management	
<p>The only clauses in this Part that are relevant to the proposed development, but not covered under previous parts are Clauses 8.2 and 8.3.</p> <p>8.2 Soils and Salinity Suitable conditions regarding sediment and erosion control measures including the preparation of a sediment and erosion control plan will be included as conditions of consent.</p> <p>8.3 Cut and Fill</p> <ul style="list-style-type: none"> • <i>Excavation and fill on building sites shall be limited to a max of 1.5m. Greater depth may be considered by Council, if within the building envelope, suitably retained and/or stabilised and not visible from the street.</i> • <i>The maximum height of retaining walls is to be 1.0m. Where terraced walls are proposed the minimum distance between each step is 0.5m.</i> <p>As previously discussed, bulk earthworks have been approved and carried out at previous subdivision works stage. Only minor additional earthworks will be required for the construction of the proposed dwellings. There are no details of any proposed retaining walls or earthworks on site.</p> <p>A standard condition will be imposed requiring all excavation, backfilling and other activities associated with the erection of buildings must be executed safely and in accordance with appropriate professional standards and any exposed cut to be retained. Retaining wall/s that exceed 1m in height are required to be certified by a structural engineer.</p>	Yes with conditions

Additional Planning Considerations

The following additional planning matters apply to the development:

MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
<i>Environmental Planning and Assessment Act Regulation 2000</i>	
<i>The provisions of any matters prescribed by the Regulations, which apply to the</i>	NA

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
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MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
<p><i>land to which the development application relates, must be considered.</i></p> <p><i>Clause 92 - Australian Standard AS 2601-1991 (Demolition of Structures).</i> <i>Clause 93 - Fire Safety Considerations (change of use of an existing building).</i> <i>Clause 94 - Fire Safety Considerations (rebuilding/altering/enlarging/extending existing building).</i> <i>Clause 94A Fire Safety Considerations (temporary structures).</i></p> <p>None applicable.</p>	
<i>The Likely Impacts of the Development</i>	
<p><i>Context and Setting</i> - The subject site was approved as super lot 1318 within stage 6D, which was approved as a part of DA 186-2013. Stage 6D has now been registered. Super lot 1318, has a frontage to Gorman Drive, and a frontage to Saphira Street and Helen Circuit. The site is also located in close proximity to the public primary school and neighbourhood centre. There is no vegetation on the site and the site is not affected by any identified hazards.</p> <p>The site is consistent with the envisaged built form that surrounds the site and neighbourhood centre, within the Googong Masterplan and the Queanbeyan Local Environmental Plan which is small lot housing on lots with a minimum lot size of 130m² and accessed via a laneway to the rear loaded garages/carports.</p> <p>The proposed development will provide lots with a minimum lot size of 132m², with an orientation of north to the primary frontage and south to the rear of the proposed lots. 10 torrens lots and 2 strata lots are proposed within this subdivision. The dwelling houses proposed within this application are a mix of single storey and two storeys dwelling house, attached and semi-detached dwellings with two studio dwellings proposed. A public laneway is also proposed to provide access to the rear loaded lots, the laneway will connect between Saphira Street and Helen Circuit. The façade of the dwellings will face Gorman Drive for all of the lots, however lots 1, 2, 2A and 10 will have a secondary frontage to Saphira Street and Helen Circuit.</p> <p>The design of the dwellings, the orientation of the lots, the depth of the lots have resulted in the dwellings within the proposed subdivision and neighbouring lots maintaining an adequate level of solar access and privacy to the dwellings. As well as being able to afford the proposed dwellings an adequate level of amenity and servicing.</p> <p>The proposed development will also have minimal impact on the scenic quality or vistas.</p> <p>In addition, impacts on the landscape/ environment during construction will be conditioned.</p>	<p>Yes</p>
	Yes

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
<p><i>Access, Transport and Traffic</i> - The proposed development's impact in relation to access, transport and traffic is considered to be acceptable. The proposed development will provide a public laneway with access from Saphira Street to Helen Circuit and the laneway will provide access to the rear loaded garages/carports for the proposed lots and include garbage collection within the verge. The proposed laneway has a carriageway width between 3.3m (at entry and exit) – 5m (in centre), a road reserve width between 7.0m – 9.5m and a verge width between 1.0m (at exit near Helen Circuit) – 4m (at the entrance off Saphira Street). The verge width is required to be 2m however for a length of 26m, only 1m verge width is proposed. The verge width of 1m is supported as the verge and overall design of the public laneway will still provide safe movements of pedestrians through the laneway as a result of how the laneway has been designed. The submitted turning paths show that the vehicles can enter and exit the garages/carports safely from/to the laneway.</p> <p>The application was referred to the Local Development Committee for comment and they did not support the proposed public laneway for a number of reasons. The issues relating to the laneway have been discussed above under Part 5 and 7 of the Googong DCP.</p>	
<p><i>Public Domain</i> – The proposed development will provide for adequate recreational opportunities for future residents and will not adversely impact the nearby Googong Foreshores.</p>	Yes
<p><i>Utilities</i> - The site will be serviced with water, sewer, electricity and telecommunication services. The development engineering comments further within this report address the provision of utilities to the subject site.</p>	Yes
<p><i>Heritage</i> – There are no known heritage sites that have not been previously identified within Neighbourhood 1A affected by the proposed development.</p>	Yes
<p><i>Other Land Resources</i> – The proposed development will not adversely impact on valuable land resources for productive agriculture land and mineral and extractive resources.</p>	Yes
<p><i>Water</i> – The proposed dwellings will connect to the Googong Water Recycling Plant. Submitted BASIX Certificates show compliance with the Googong water supply system requirements.</p>	Yes
<p><i>Soils</i> – Geotechnical engineering report submitted for a previous subdivision application that included the subject site (DA 186-2013) confirms soils are appropriate for residential development.</p>	Yes
<p><i>Air and Microclimate</i> – The construction stage of the proposed development will likely to cause the emission of some dust. This can be addressed via the</p>	Yes

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
imposition of standard site management conditions.	
<i>Flora and Fauna</i> – There will be no impacts to flora and fauna as a result of the proposed development. Detailed assessment regarding flora and fauna impacts has been undertaken during previous subdivision application that included the subject site (DA 186-2013).	Yes
<i>Waste</i> – The imposition of standard conditions will manage the disposal of waste generated during the construction of the development. Domestic waste collection services are available for future residents of each dwelling and adequate area is available for storing domestic waste bins within each allotment.	Yes with condition
<i>Energy</i> - A BASIX certificate has been provided for each dwelling house with the commitments being detailed on the plans. A condition will be placed on the development consent referencing the BASIX certificate and commitments.	Yes with condition
<i>Noise and Vibration</i> - The proposed development is not likely to cause any adverse ongoing impact from noise or vibration. The impacts associated with noise and vibration during construction of the development will be mitigated through conditions of development consent.	Yes with conditions
<i>Natural Hazards</i> - The subject site is not affected by natural hazards.	Yes
<i>Technological Hazards</i> – There are no known technological hazards affecting the site.	Yes
<i>Safety, Security and Crime Prevention</i> - The proposed development complies with the relevant section of the QDCP 2012 on crime prevention through environmental design. The development application was referred to NSW Police in accordance with the provision for crime prevention in clause 2.9. The NSW Police have assessed that the development has a moderate crime risk and recommended a number of aspects, the recommendations will form a note on the development consent. Refer to comments from the NSW Police later in this Report.	Yes with conditions
<i>Social Impact in the Locality</i> - The social impacts of the proposal are anticipated to be minimal.	Yes
<i>Economic Impact in the Locality</i> - The economic impacts of the proposal are anticipated to be minimal. There will be local economic benefits through employment opportunities during construction and provision of added housing stock opportunities.	Yes
<i>Site Design and Internal Design</i> – The proposed development, both subdivision of land and new dwellings, is considered to be generally well designed in an environmentally sensitive manner.	Yes
	Yes with

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
<p><i>Construction</i> - The construction stage of the proposed development will have the potential to impact on adjoining properties and the environment for a short period of time. Any approval will be conditioned to ensure construction activities do not unreasonably impact on the adjoining properties and their occupants and the environment by way of noise, erosion and the like. These conditions are standard Council conditions of development consent.</p>	condition
<p><i>Cumulative Impacts</i> - Cumulative impacts relate to the small impacts of developments in an area that when considered in unison can result in detrimental impact on the natural or built environment.</p> <p>The proposed development has included a public laneway which is not achieved the Engineering Design specifications, the numerical requirements specified within the Googong Development Control Plan Part 4 or 5 or the general design requirements for public roads. The proposed design of the public laneway has been supported in this instance as the super lot design, orientation, configuration, dimensions and size were approved within DA 186-2013. The proposed public laneway in its current form, if approved, may set the precedent or result in cumulative impacts. Therefore future public laneways will be required to meet the Engineering Design Specification, numerical controls and general design requirements to avoid cumulative non-compliance issue in the future.</p>	Yes
<i>The Suitability of the Site for the Development</i>	
<p><i>Does the proposal fit in the locality?</i> - The proposal is considered to be compatible with current and desired character of the locality. The subject site is located within the additional development area which permits minimum lot sizes of 130m², this area is established around the neighbourhood centre. The subdivision of lots to a size of 130m² caters for the provision of small lot housing, which is envisaged in this location. The proposed development will provide a minimum lot size of 132m² and proposes small lot housing.</p> <p>There are no physical constraints, heritage, threaten species, agriculture or mineral and extractive resource constrains, and the proposed development will not give rise to unmanageable transport demands. Adequate recreational opportunities will be provided and all services will be available.</p>	Yes
<p><i>Are the site attributes conducive to development?</i> – Site attributes such as configuration, size and slope, are considered to be generally conducive to the proposed development.</p> <p>The size of the site can accommodate the proposed 10 lot subdivision as it complies with the minimum lot size, provides a north south orientation and a maximum cut and fill. These aspects ensure that the provision of lots on the subject site will have an adequate level of amenity for the residents and does not require excessive alteration of the site that would result in adverse impacts on the environment.</p>	Yes

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION		COMPLIES (Yes/No)
Have any submissions been made in accordance with the Act or the Regulations?		
Public Submissions - The application was required to be notified to adjoining owners and within the newspaper. No submissions were received during the notification period.		Yes
Submissions from Public Authorities – The proposed development was referred to the NSW Police for comment in regard to Crime Prevention Through Environmental Design (CPTED) principles. After conducting a CPTED assessment the NSW Police have identified the development as a Moderate-crime risk. A summary of concerns and responses is provided below:		Yes with conditions
ADVICE	COMMENT	
Surveillance <ul style="list-style-type: none">Pedestrian entry points to houses are predominately from the front main street. Vehicle entry points are via a rear public laneway designed predominately for resident use only. It is noted there is a single unit with entry and surveillance opportunities in the laneway as well as a studio unit. This design will provide limited natural surveillance.It is noted the laneway is generally straight which allows some natural surveillance from passer-by's along Saphira Street and Helen Circuit.It is noted that where appropriate, semi permeable fencing will be used. This will assist in increasing natural surveillance of the area.	<p>It is considered that suitable levels of passive surveillance have been provided to the proposed laneway. A condition of consent will be imposed requiring appropriate lighting to be provided to the public laneway. Side boundary of Lots 1 and 1A (toward the laneway) have been provided with 1.0m and 1.8m high horizontal aluminium/timber slats fencing with some gaps to provide natural surveillance to the public laneway.</p> <p>Having dwellings with an entry to the laneway and garaging to the street would result in poor streetscape appearance and would not be consistent with the objectives of the Development Control Plan. Whilst it is acknowledged that such would improve passive</p>	

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63
Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION		COMPLIES (Yes/No)
	surveillance of the laneway the net benefit would not outweigh the negative impacts in this instance.	
Landscaping <ul style="list-style-type: none"> Some predatory offenders, particularly rapists, seek pockets and enclosures created by vegetation/landscaping. When selecting and maintaining vegetation, consideration should be given to the possibility of areas becoming entrapment sites in the future. A safety convention is to have 3 – 5 meters of cleared space on either side of pedestrian routes. Thereafter, vegetation is stepped back in height to maximise sightlines. It is important to realize that vegetation can aid in concealment opportunities, restrict natural surveillance, dull lighting and/or casting shadows and provide a natural climbing ladder to gain access to other structures that are otherwise difficult to access. For these reasons the following needs to be born in mind:- <ul style="list-style-type: none"> A safety convention for vegetation is: lower tree limbs should be above average head height, and shrubs should not provide easy concealment (I.E keep under 70cm of height). Care needs to be taken when 	<p>It will be the responsibility of individual owners to maintain vegetation on their own lots. The public laneway and landscaping along the public laneway will be owned and managed by Council. The proposed varieties of plants are consistent with similar approvals in Googong and considered unlikely to result in significant adverse impact.</p>	

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION		COMPLIES (Yes/No)
<p>choosing shrubs for the rear laneway as shrubbery in this area may hamper the limited natural surveillance that exists and may create entrapment points and concealment opportunities for "would be" criminals. It may also create unnecessary dark areas if lighting is inappropriately placed.</p> <ul style="list-style-type: none"> • Street trees should not be placed directly under street lighting because when they mature they can block areas of light, creating shadows and dark spaces. • It is noted that the landscaping and public laneway will be owned and managed by Council. A landscaping maintenance policy should be established for this area. 		
<p>Lighting</p> <p>No lighting plans were supplied with this development however it is noted that a Council, Essential Energy and GTPL are currently working on a lighting solution for the laneway.</p> <ul style="list-style-type: none"> • Lighting should be designed to the Australian and New Zealand Lighting Standards. • Australia and New Zealand Lighting Standard 1158.1 – Pedestrian, requires lighting engineers and designers to consider crime risk and fear when selecting lamps and lighting levels. • Care should be taken when implementing lighting to ensure it maximise natural surveillance and creates an even glare with no dark areas that can be used as 	<p>Noted. Lighting above all entries will be required as a condition of consent and that lighting must be designed to the Australian and New Zealand Standards. Suggestion regarding lighting maintenance has been included in condition of consent.</p>	

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong

Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION		COMPLIES (Yes/No)
<p>concealment opportunities. Landscaping should be taken into consideration by ensuring it will not affect lighting in the future.</p> <ul style="list-style-type: none"> A lighting maintenance policy need to be established for the development. 		
<p>Territorial Re-enforcement</p> <ul style="list-style-type: none"> It is noted that each dwelling will be provided with a street number and letterbox number to enable easy identification. The areas depicted in the proposal are well defined and clearly represent a residential area. 	<p>Noted. A standard condition of consent will be imposed requiring each dwelling to be provided with a street number and letterbox number to enable easy identification.</p>	
<p>Environmental Maintenance</p> <ul style="list-style-type: none"> The areas depicted in the proposal are well defined and clearly represent a residential area. A maintenance policy should be established for this area. A graffiti management should be established for this area. Research has shown that the most effective strategy for reducing graffiti attacks is the quick removal of such material generally with a forty-eight hour period. 	<p>Noted, this will be included in the condition.</p>	
<p>Access Control</p> <ul style="list-style-type: none"> It is noted that fencing, walls and garage doors will be established around the perimeter of the 	<p>Noted</p>	

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong

Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

MATTERS FOR CONSIDERATION		COMPLIES (Yes/No)
<p>property to ensure no accidental trespassing will occur.</p> <ul style="list-style-type: none"> It is noted locks will be implemented on all gates. 		
<p>It is considered that the proposed development is consistent with the objectives and controls of the Googong Development Control Plan on crime prevention through environmental design.</p>		
<i>The Public Interest</i>		
<p>It is considered that the public interest will not be adversely affected by the proposed development. Standard conditions will be imposed to ensure minimal impacts to surrounding properties.</p>		Yes
<i>Government and Community Interests</i>		
<p>It is considered that government and community interests will not be adversely affected by the proposed development.</p>		Yes
<i>Section 94 Development Contributions</i>		
<p>The proposed development is subject to the Voluntary Planning Agreement (VPA). Contributions security and cash contributions are applicable under this agreement to the proposed development. A condition will be placed on the development consent requiring the payments be made prior to the issuing of the subdivision certificate for this subdivision.</p>		Yes with condition

8.3 Development Application 71-2016 for Small Lot Housing Comprising 10 x Torrens Title Lots, 2 x Strata Title Lot, 1 x Public Laneway, and Erection of 12 x Dwellings,- Lot 1318 DP1217419, Googong
Attachment 1 - Council Meeting - 26 October 2016 - DA 71-2016 - Small Lot Housing - Lot 63 Aprasia Avenue - Sec79C Matters for Consideration (Continued)

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

26 OCTOBER 2016

- | | |
|--------------|--|
| ITEM 8.3 | DEVELOPMENT APPLICATION 71-2016 FOR SMALL LOT HOUSING COMPRISING 10 X TORRENS TITLE LOTS, 2 X STRATA TITLE LOT, 1 X PUBLIC LANEWAY, AND ERECTION OF 12 X DWELLINGS,- LOT 1318 DP1217419, GOOGONG |
| ATTACHMENT 2 | COUNCIL MEETING - 26 OCTOBER 2016 - DA 71-2016 - SMALL LOT HOUSING - LOT 63 APRASIA AVENUE - SITE PLANS |



GOOGONG SMALL LOT HOUSING - LOT 1318

LANDSCAPE WORKS

13/1008

ISSUE DATE: 22.06.2016
ISSUE: B

DRAWING SCHEDULE Section A

LANDSCAPE DRAWINGS:

Lot ID	Drawing NO.	Sheet NO.	Drawing Title	Scale @A1	Revision
Lot 1318-L0T1	L501.1	1	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T1A	L501.1A	1A	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T2	L501.2	2	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T3	L501.3	3	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T4	L501.4	4	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T5	L501.5	5	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T6	L501.6	6	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T7	L501.7	7	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T8	L501.8	8	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T9	L501.9	9	LANDSCAPE PLAN	1:50	B
Lot 1318-L0T10	L501.10	10	LANDSCAPE PLAN	1:50	B
N/A	L572.1	11	LANDSCAPE DETAILS	VARIES	A
N/A	L601.1	12	LANEWAY LANDSCAPE PLAN	1:1000	C



GOOGONG SMALL LOT HOUSING LOT 1318 - KEY PLAN

Scale: 1:2500@A1



Client
GOOGONG TOWNSHIP PTY LTD

Drawing Title
**SITING PLAN : LOT 1318
DP1217419 GOOGONG**

Project Architect
AL&CH

Coord.
Reviewed

Project Director
Verified

Date
30.06.16

Drawing Number
A001-1318

Rev
1

Rev	Description	Drawn	Date
1	DEVELOPMENT	AL&CH	24.02.16
2	DEVELOPMENT	AL&CH	28.02.16
3	DEVELOPMENT	AL&CH	27.03.16
4	DEVELOPMENT	AL&CH	22.05.16
5	DEVELOPMENT	AL&CH	27.06.16
6	DEVELOPMENT	AL&CH	17.06.16
7	DEVELOPMENT	AL&CH	19.06.16

Notes
All dimensions are in metres.
Dimensions are shown to the centre of the lot.
All dimensions, levels and site conditions must be verified by the client prior to construction.
All work must be carried out in accordance with the current edition of the Building Code of Australia and all relevant Australian Standards.

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Client GOOGONG TOWNSHIP PTY LTD	Drawing Title FENCING PLAN : LOT 1318 DP1217419 GOOGONG	Project Architect AL&CH	Coord. Reviewed	Rev	Description	Drawn	Date	Notes
Project PROPOSED NEW RESIDENCES LOT 1318 IN DP1217419 GOOGONG	Scale 1:350 (A3)	Drawn AL&CH	Project Director 30.06.16	Date	Date	Date	Date	Date
Drawing Number A002-1318	D	Rev	Date	Date	Date	Date	Date	Date
Project PROPOSED NEW RESIDENCES LOT 1318 IN DP1217419 GOOGONG	Scale 1:350 (A3)	Drawn AL&CH	Project Director 30.06.16	Date	Date	Date	Date	Date
Drawing Number A002-1318	D	Rev	Date	Date	Date	Date	Date	Date

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

26 OCTOBER 2016

- | | |
|--------------|--|
| ITEM 8.3 | DEVELOPMENT APPLICATION 71-2016 FOR SMALL LOT HOUSING COMPRISING 10 X TORRENS TITLE LOTS, 2 X STRATA TITLE LOT, 1 X PUBLIC LANEWAY, AND ERECTION OF 12 X DWELLINGS,- LOT 1318 DP1217419, GOOGONG |
| ATTACHMENT 3 | COUNCIL MEETING - 26 OCTOBER 2016 - DA 71-2016 - SMALL LOT HOUSING - LOT 63 APRASIA AVENUE - STREETSCAPE ELEVATIONS AND COLOURS |



STREETSCAPE ELEVATION 01
LOT 1318 - VIEW FROM GORMAN DRIVE (1:200 SCALE)



STREETSCAPE ELEVATION 02
LOT 1318 - VIEW FROM HELEN CIRCUIT (1:200 SCALE)

GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**STREETSCAPE
ELEVATIONS LOT 1318**

Scale _____

Drawn _____

Project Architect	AL&CH	Coord.	
Reviewed		Verified	
Project Director		Approved	
Date	30.06.16		
Drawing Number	Rev		
1318-A001			

Rev	Description	Drawn	Date
A	ISSUE FOR DA	AJ&CH	26.02.16
B	ISSUE FOR DA	AJ&CH	02.03.16
C	ISSUE FOR DA	AJ&CH	03.06.16
D	ISSUE FOR DA	AJ&CH	30.06.16

Notes: All dimensions are in millimeters. All levels are in meters.
Do not scale off drawing. All structural dimensions specified.
All dimensions, levels and site conditions must be verified
by contractor prior to commencement of any work.
All work must be carried out in accordance with the current edition of
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STREETSCAPE ELEVATION 03
LOT 1318 - VIEW FROM PUBLIC LANEWAY (1:200 SCALE)



STREETSCAPE ELEVATION 04
LOT 1318 - VIEW FROM SAPHIRA STREET (1:200 SCALE)

GOOGONG TOWNSHIP PTY LTD	Drawing Title	Project Architect	Coord.	Rev	Description	Drawn	Date	<p>Notes:</p> <ul style="list-style-type: none">All dimensions are in millimeters. All levels are in meters.Do not scale off drawing. All structural dimensions specified.All dimensions, levels and site conditions must be verified by contractor prior to commencement of any work.All work must be carried out in accordance with the current edition of the Building Code of Australia and all relevant Australian Standards. <p>Copyright</p> <p>© copyright heyward lance architecture</p> <p>Reproduction of this design and/or document in whole or in part without prior written consent is an infringement of copyright.</p>
	STREETSCAPE ELEVATIONS LOT 1318	AL&CH	Reviewed	A	ISSUE FOR DA	AL&CH	20/02/16	
	Scale	Project Director	Verified	B	ISSUE FOR DA	AL&CH	02/03/16	
	Drawn	Date	Approved	C	ISSUE FOR DA	AL&CH	30/06/16	
PROPOSED NEW RESIDENCE LOT 1318 IN DP1217419 GOOGONG	Drawing Number	Rev						
	31318-0002							

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STREETSCAPE ELEVATION 05
LOT 1318 - VIEW FROM PUBLIC LANEWAY (1:200 SCALE)

GOOGONG TOWNSHIP PTY LTD	Drawing Title STREETSCAPE ELEVATIONS LOT 1318	Project Architect	AL&CH	Coord.		Rev	Description	Drawn	Date	<small>Notes:</small> All dimensions are in millimetres. All levels are in metres. Do not scale off drawing. All structures to engineering specification. All dimensions, levels and other conditions must be verified by contractor prior to commencement of any work. All work must be carried out in accordance with the current edition of the Building Code of Australia and all relevant Australian Standards. <small>Copyright</small> ©copyright heyward lance architecture Reproduction of this design and/or document in whole or in part without prior written consent is an infringement of copyright.
		Project Director		Reviewed		A	ISSUE FOR DA	AL&CH	20/02/16	
		Date	30/06/16	Verified		B	ISSUE FOR DA	AL&CH	02/03/16	
		Drawing Number	Rev	Approved		C	ISSUE FOR DA	AL&CH	30/06/16	
PROPOSED NEW RESIDENCE LOT 1318 IN DP1217419 GOOGONG	Scale	Drawn	1318-A003							

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BRICK TYPES:

FB1 - BORAL ASPIRE - MIST

FB2 - BORAL FUSION - DOMINO

FEATURE CLADDING:

F01 - TIMBER LOOK CLADDING- EQUAL TO WEATHERTEX ECOGROOVE NATURAL CLADDING

COLOURS:

C01 - COLORBOND - MONUMENT

C02 - DULUX - SIMONE WEIL - PG1A4

C03 - DULUX - GREY PAIL - PG1A1

C04 - DULUX - WHITE ON WHITE - PN2G1

C05 - COLORBOND - WINDSPRAY

C06 - COLORBOND - SHALE GREY

MATERIALS LEGEND:

	HARDIES AXON
	HARDIES AXON 400mm WIDE
	HARDIES STRIA
	HARDIES EASYLAP
	HARDIES MATRIX
	RENDERED FINISH



STREETSCAPE ELEVATION 01
LOT 1318 - VIEW FROM GORMAN DRIVE (1:150 SCALE)

GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**STREETSCAPE
ELEVATIONS LOT 1318**

Scale _____

Drawn _____

Project Architect AL&CH

Project Director _____

Date 30.06.16

Drawing Number _____

Rev _____

31318-0001

Coord. _____

Reviewed _____

Verified _____

Approved _____


Rev	Description	Drawn	Date
A	ISSUE FOR DA	AL&CH	2016.06
B	ISSUE FOR DA	AL&CH	2016.06

Notes: All dimensions are in millimetres. All levels are in metres.
Do not scale off drawing. All structural dimensions specified.
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BRICK TYPES:

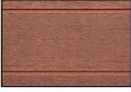


FB1 - BORAL ASPIRE - MIST




FB2 - BORAL FUSION - DOMINO

FEATURE CLADDING:




F01 - TIMBER LOOK CLADDING- EQUAL TO WEATHERTEX ECOGROOVE NATURAL CLADDING


COLOURS:




C01 - COLORBOND - MONUMENT




C02 - DULUX - SIMONE WEIL - PG1A4




C03 - DULUX - GREY PAIL - PG1A1



C04 - DULUX - WHITE ON WHITE - PN2G1




C05 - COLORBOND - WINDSPRAY




C06 - COLORBOND - SHALE GREY


MATERIALS LEGEND:




HARDIES AXON




HARDIES AXON 400mm WIDE




HARDIES STRIA



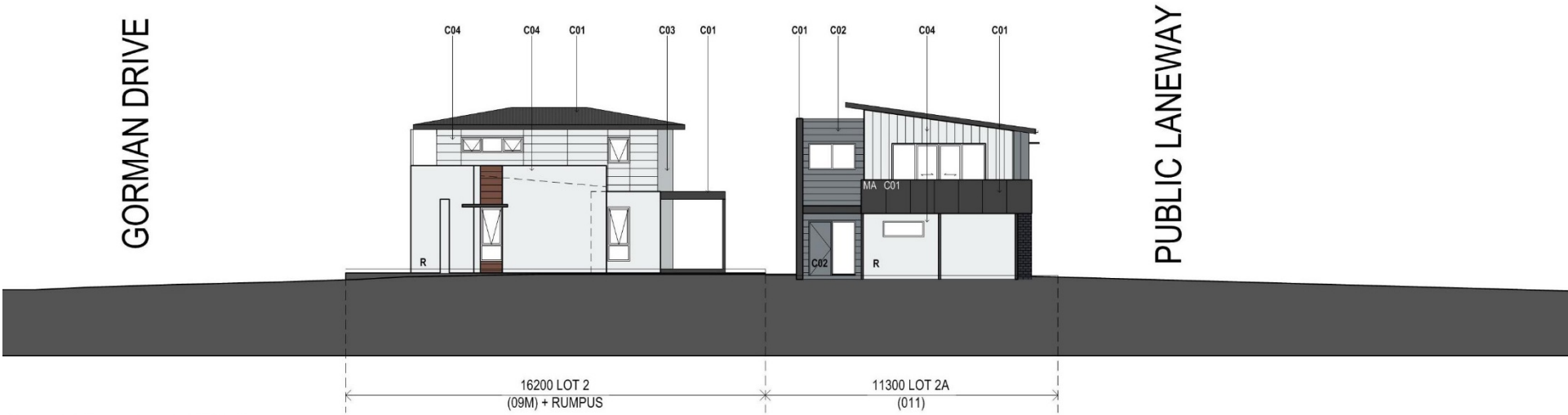
HARDIES EASYLAP



MA HARDIES MATRIX



R RENDERED FINISH



STREETSCAPE ELEVATION 02
LOT 1318 - VIEW FROM HELEN CIRCUIT (1:150 SCALE)

GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**STREETSCAPE
ELEVATIONS LOT 1318**

Scale _____

Drawn _____

Project Architect	AL&CH	Coord.	
Project Director		Reviewed	
Date	30.06.16	Verified	
Drawing Number	Rev	Approved	
1318-0005			


Rev	Description	Drawn	Date
A	ISSUE FOR DA	AL&CH	20.02.16
B	ISSUE FOR DA	AL&CH	20.06.16

Notes:


- All dimensions are in millimetres. All levels are in metres.
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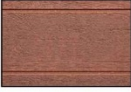


FB1 - BORAL ASPIRE - MIST




FB2 - BORAL FUSION - DOMINO

FEATURE CLADDING:

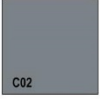


F01 - TIMBER LOOK CLADDING- EQUAL TO WEATHERTEX ECOGROOVE NATURAL CLADDING

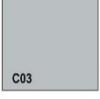
COLOURS:




C01 - COLORBOND - MONUMENT




C02 - DULUX - SIMONE WEIL - PG1A4




C03 - DULUX - GREY PAIL - PG1A1



C04 - DULUX - WHITE ON WHITE - PN2G1




C05 - COLORBOND - WINDSPRAY




C06 - COLORBOND - SHALE GREY


MATERIALS LEGEND:




HARDIES AXON




HARDIES AXON 400mm WIDE




HARDIES STRIA



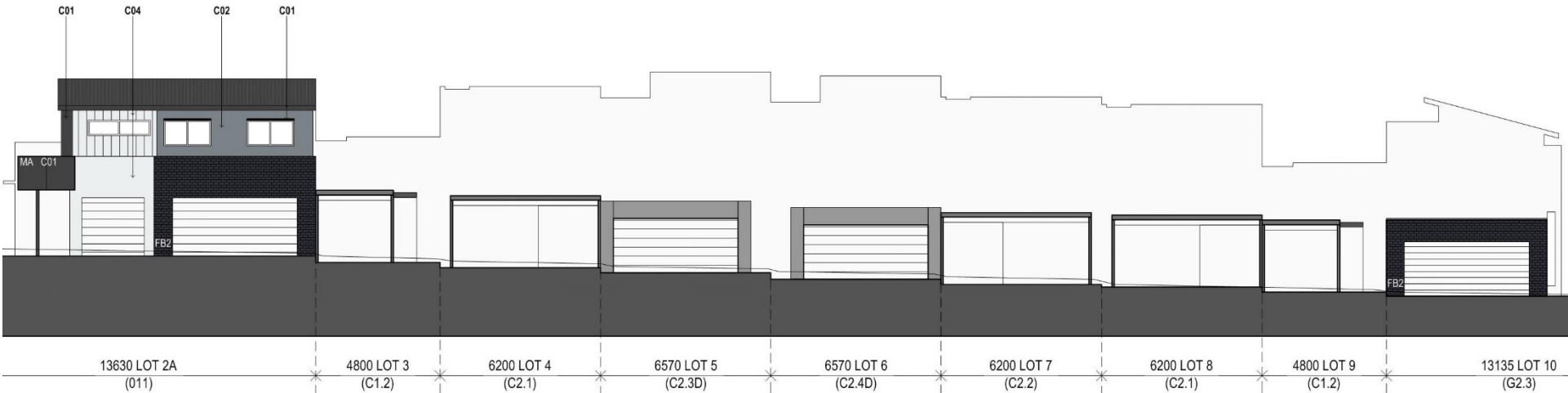
HARDIES EASYLAP



MA HARDIES MATRIX



R RENDERED FINISH



STREETSCAPE ELEVATION 03
LOT 1318 - VIEW FROM PUBLIC LANEWAY (1:150 SCALE)

GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**STREETSCAPE
ELEVATIONS LOT 1318**
Scale _____ Drawn _____

Project Architect	AL&CH	Coord.	
Project Director		Reviewed	
Date	29/02/16	Verified	
Drawing Number	Rev	Approved	
1318-0006 A			

Rev	Description	Drawn	Date
A	ISSUE FOR DA	AL&CH	20/02/16

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BRICK TYPES:

FB1 - BORAL ASPIRE - MIST

FB2 - BORAL FUSION - DOMINO

FEATURE CLADDING:

F01 - TIMBER LOOK CLADDING- EQUAL TO
WEATHERTEX ECOGROOVE NATURAL CLADDING

COLOURS:

C01 - COLORBOND - MONUMENT

C02 - DULUX - SIMONE WEIL - PG1A4

C03 - DULUX - GREY PAIL - PG1A1

C04 - DULUX - WHITE ON WHITE - PN2G1

C05 - COLORBOND - WINDSPRAY

C06 - COLORBOND - SHALE GREY

MATERIALS LEGEND:



HARDIES AXON



HARDIES AXON 400mm WIDE



HARDIES STRIA



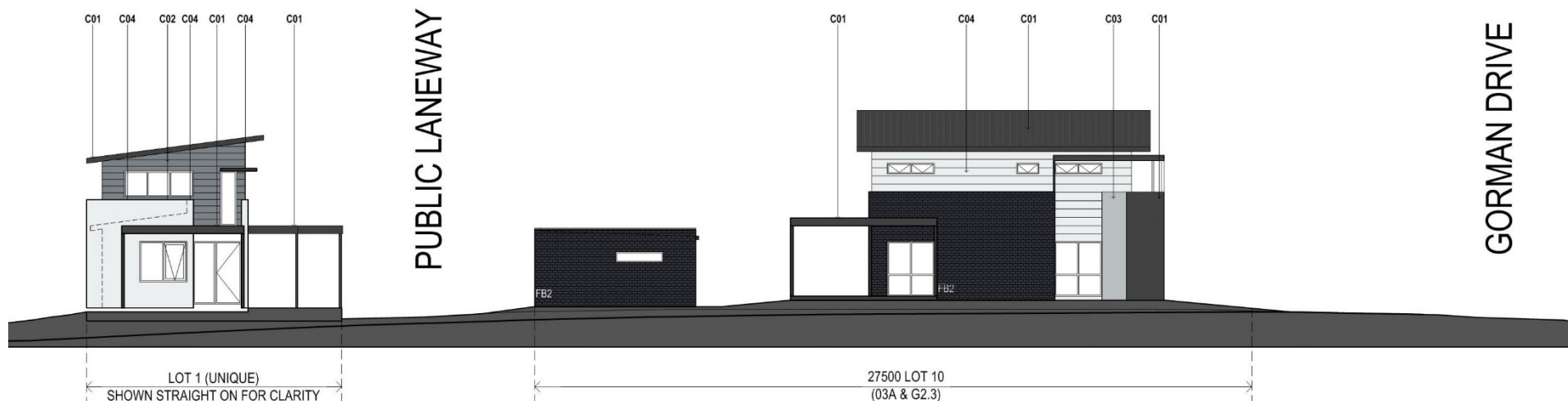
HARDIES EASYLAP



HARDIES MATRIX



RENDERED FINISH



STREETSCAPE ELEVATION 04

LOT 1318 - VIEW FROM SAPHIRA STREET (1:150 SCALE)

GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**STREETSCAPE
ELEVATIONS LOT 1318**

Scale _____ Drawn _____

Project Architect AL&CH
Project Director _____
Date 30.06.16
Drawing Number 1318-0007

Coord. _____
Reviewed _____
Verified _____
Approved _____


Rev	Description	Drawn	Date
A	ISSUE FOR DA	AL&CH	20.02.16
B	ISSUE FOR DA	AL&CH	20.06.16

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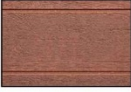


FB1 - BORAL ASPIRE - MIST




FB2 - BORAL FUSION - DOMINO

FEATURE CLADDING:

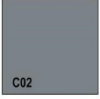


F01 - TIMBER LOOK CLADDING- EQUAL TO WEATHERTEX ECOGROOVE NATURAL CLADDING

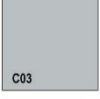
COLOURS:




C01 - COLORBOND - MONUMENT




C02 - DULUX - SIMONE WEIL - PG1A4




C03 - DULUX - GREY PAIL - PG1A1



C04 - DULUX - WHITE ON WHITE - PN2G1




C05 - COLORBOND - WINDSPRAY




C06 - COLORBOND - SHALE GREY


MATERIALS LEGEND:




HARDIES AXON




HARDIES AXON 400mm WIDE




HARDIES STRIA



HARDIES EASYLAP



MA
HARDIES MATRIX



R
RENDERED FINISH

STREETSCAPE ELEVATION 05
LOT 1318 - VIEW FROM PUBLIC LANEWAY (1:150 SCALE)

GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**STREETSCAPE
ELEVATIONS LOT 1318**

Scale _____ Drawn _____

Project Architect AL&CH
Project Director _____
Date 30.06.16
Drawing Number Rev
1318-0008 A

Coord. _____
Reviewed _____
Verified _____
Approved _____

Rev	Description	Drawn	Date
A	ISSUE FOR DA	AL&CH	20.02.16
B	ISSUE FOR DA	AL&CH	30.06.16

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Page 97 of the Ordinary Meeting of the QUEANBEYAN-PALERANG REGIONAL COUNCIL held 26 October 2016.

Mr Tim Overall – Administrator, Chairperson

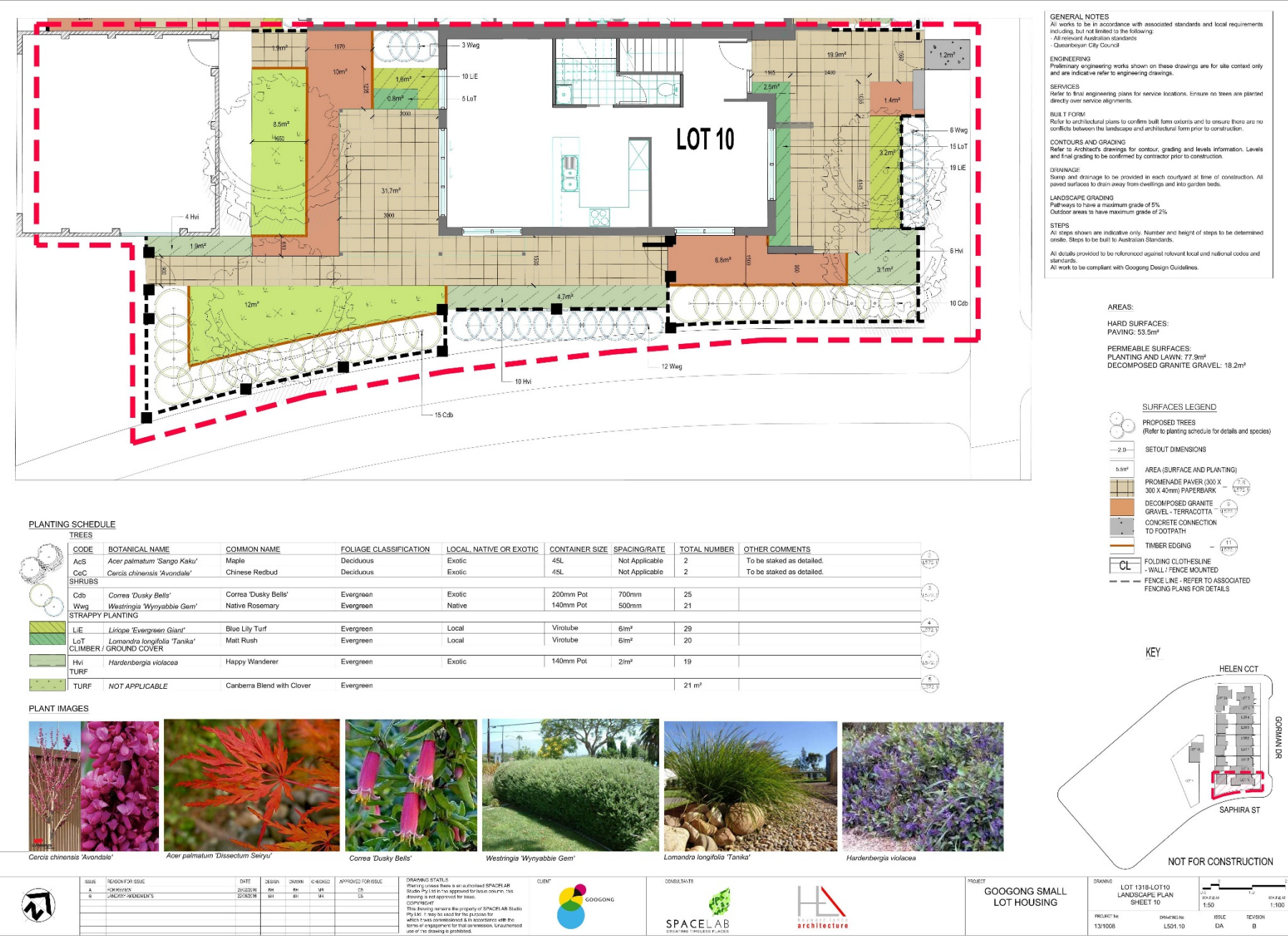
QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

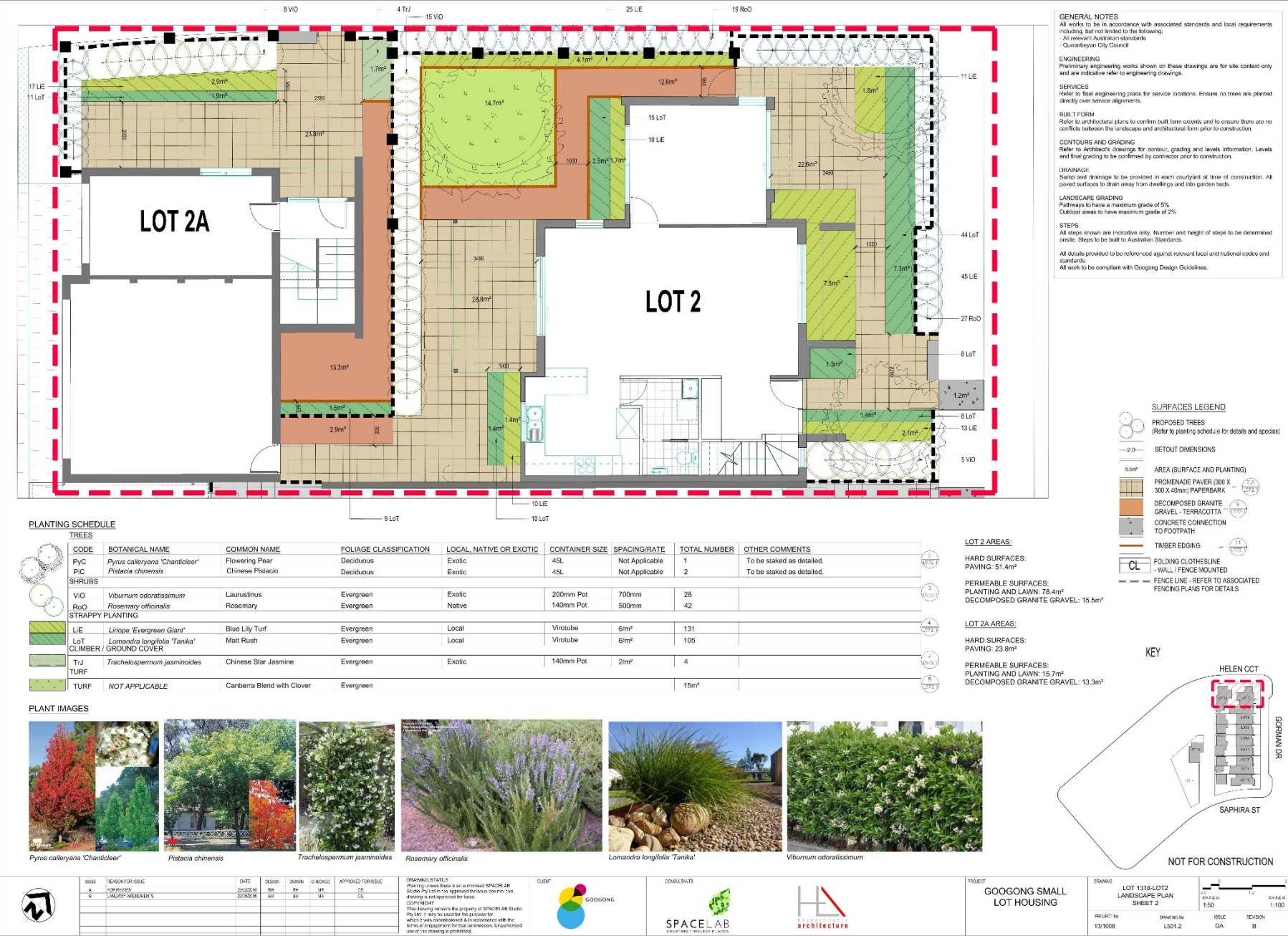
26 OCTOBER 2016

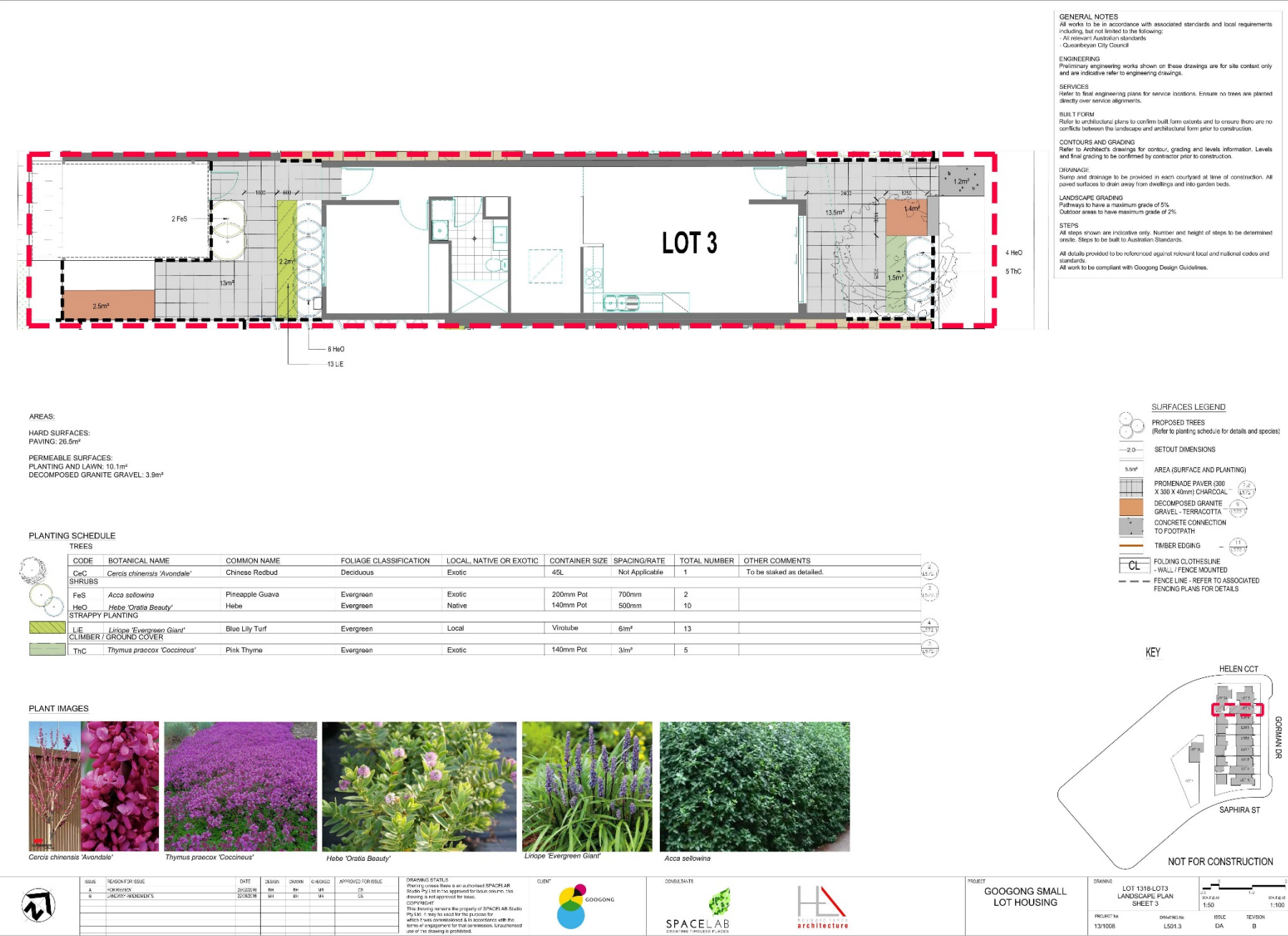
- | | |
|--------------|--|
| ITEM 8.3 | DEVELOPMENT APPLICATION 71-2016 FOR SMALL LOT HOUSING COMPRISING 10 X TORRENS TITLE LOTS, 2 X STRATA TITLE LOT, 1 X PUBLIC LANEWAY, AND ERECTION OF 12 X DWELLINGS,- LOT 1318 DP1217419, GOOGONG |
| ATTACHMENT 4 | COUNCIL MEETING - 26 OCTOBER 2016 - DA 71-2016 - SMALL LOT HOUSING - LOT 63 APRASIA AVENUE - LANDSCAPE PLANS |



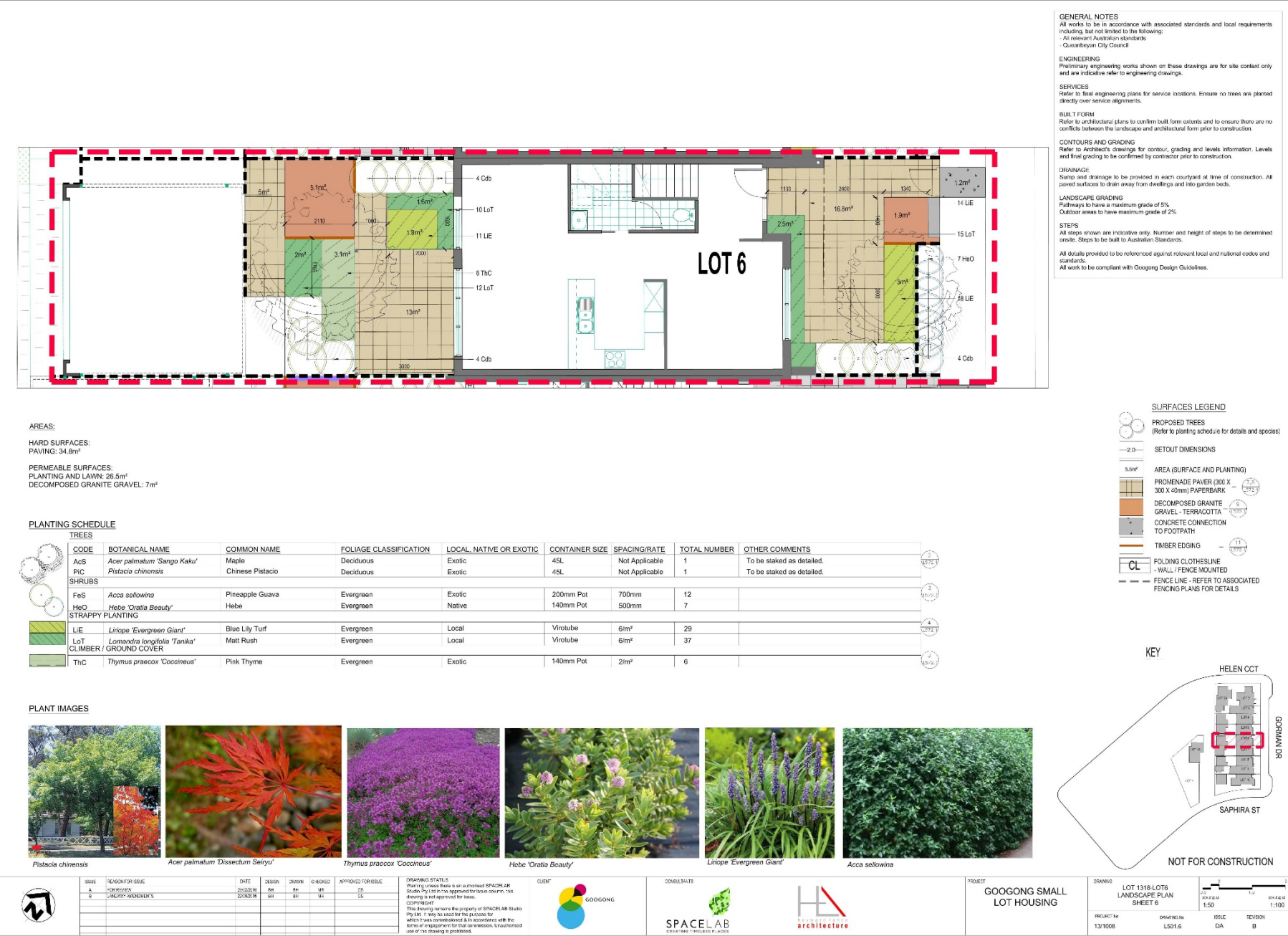


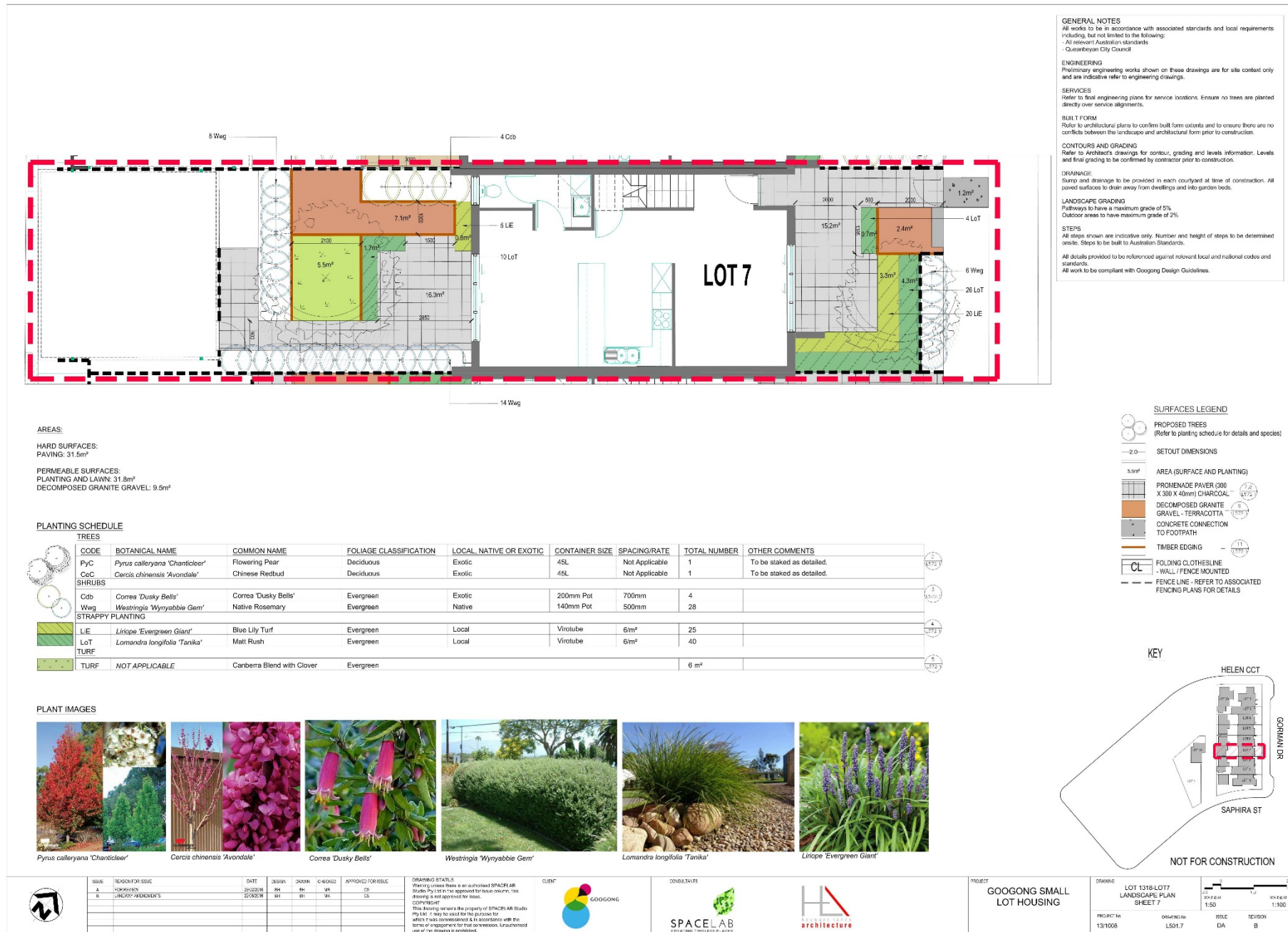


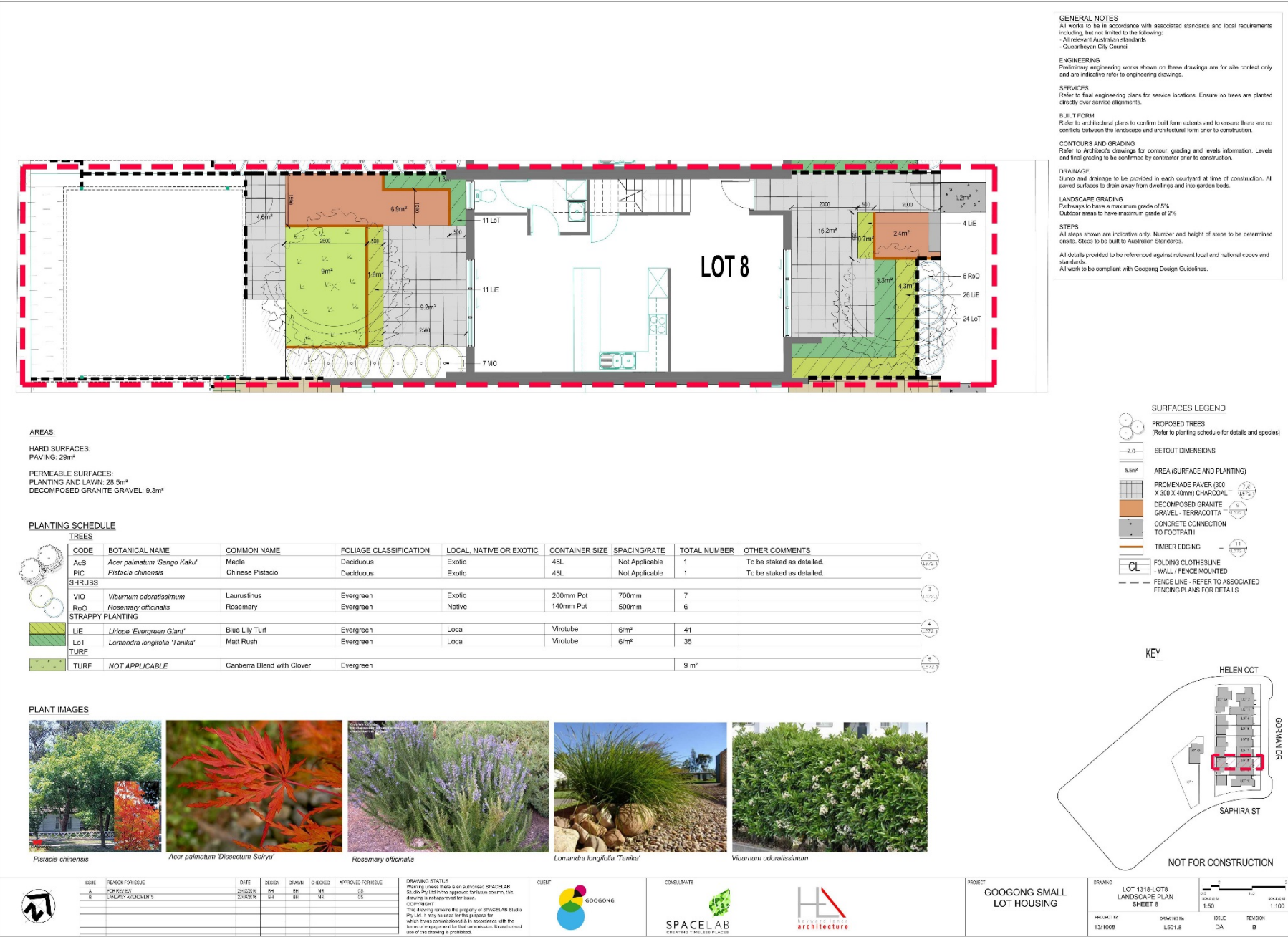


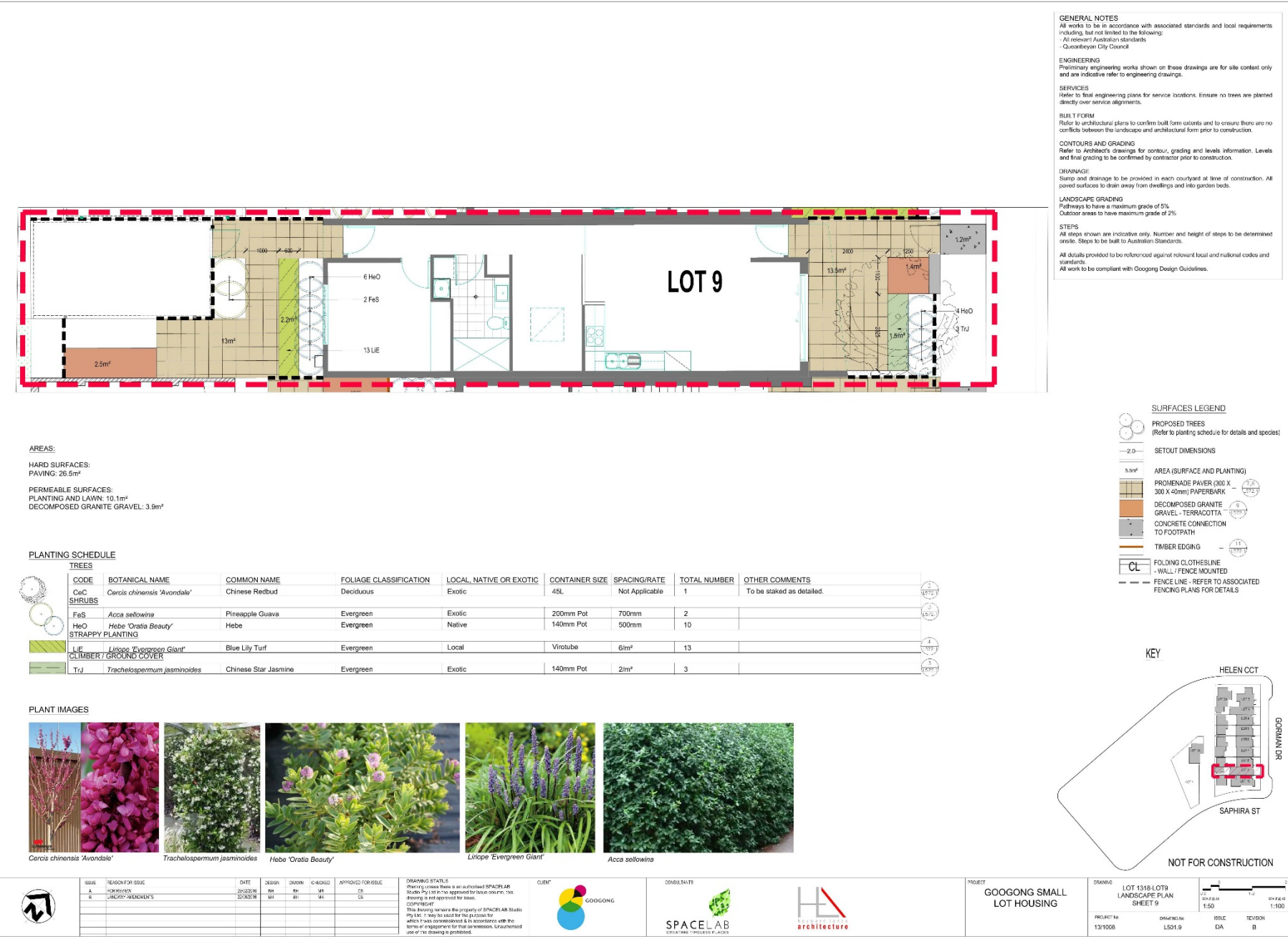










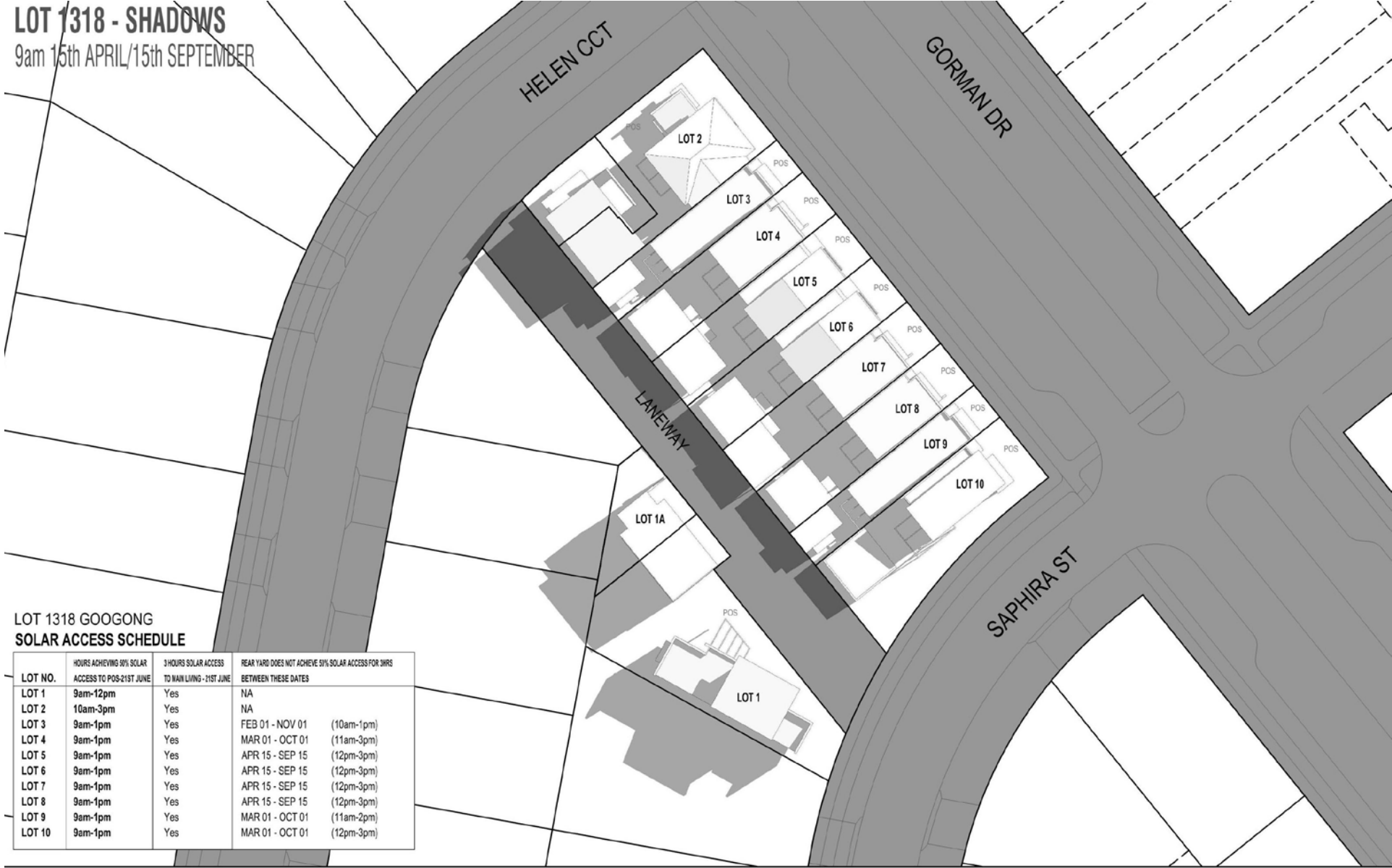


QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

26 OCTOBER 2016

- | | |
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| ITEM 8.3 | DEVELOPMENT APPLICATION 71-2016 FOR SMALL LOT HOUSING COMPRISING 10 X TORRENS TITLE LOTS, 2 X STRATA TITLE LOT, 1 X PUBLIC LANEWAY, AND ERECTION OF 12 X DWELLINGS,- LOT 1318 DP1217419, GOOGONG |
| ATTACHMENT 5 | COUNCIL MEETING - 26 OCTOBER 2016 - DA 71-2016 - SMALL LOT HOUSING - LOT 63 APRASIA AVENUE - SHADOW DIAGRAMS FOR SECONDARY PRIVATE OPEN SPACE |



GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**LOT 1318 GOOGONG
SHADOW DIAGRAMS**

Scale _____ Drawn _____

Project Architect AL&CH
Project Director _____
Date 13.10.16
Drawing Number 1318-0000 Rev _____

Coord. _____
Reviewed _____
Verified _____
Approved _____
North _____

Rev	Description	Drawn	Date
A	SOLE FOR REVIEW	AL&CH	24.03.16
B	SOLE FOR DA	AL&CH	20.02.16
C	SOLE FOR DA	AL&CH	28.06.16
D	SOLE FOR DA	AL&CH	13.10.16

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GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**LOT 1318 GOOGONG
SHADOW DIAGRAMS**

Scale _____ Drawn _____

Project Architect ALCH
Project Director
Date 13.10.16
Drawing Number Rev
1318-001

Coord.
Reviewed
Verified
Approved
North

Rev	Description	Drawn	Date
A	ISSUE FOR REVIEW	ALCH	24.03.16
B	ISSUE FOR DA	ALCH	20.02.16
C	ISSUE FOR DA	ALCH	28.06.16
D	ISSUE FOR DA	ALCH	13.10.16

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PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**LOT 1318 GOOGONG
SHADOW DIAGRAMS**

Scale _____ Drawn _____

Project Architect AL&CH
Project Director _____
Date 13.10.16 Rev _____
Drawing Number 1318-0022

Coord. _____
Reviewed _____
Verified _____
Approved _____
North _____

Rev	Description	Drawn	Date
A	SOLE FOR REVIEW	AL&CH	24.03.16
B	SOLE FOR DA	AL&CH	20.02.16
C	SOLE FOR DA	AL&CH	28.06.16
D	SOLE FOR DA	AL&CH	13.10.16

Notes
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GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
LOT 1318 GOOGONG
SHADOW DIAGRAMS

Scale _____ Drawn _____

Project Architect AL&H
Project Director
Date 13.10.16
Drawing Number Rev
1318-0001

Coord.
Reviewed
Verified
Approved
North

Rev	Description	Drawn	Date
A	ISSUE FOR REVIEW	AL&H	24.03.16
B	ISSUE FOR DA	AL&H	20.02.16
C	ISSUE FOR DA	AL&H	28.06.16
D	ISSUE FOR DA	AL&H	13.10.16

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GOOGONG TOWNSHIP PTY LTD

LOT 1318 GOOGONG
SHADOW DIAGRAMS

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Project Architect	AL&CH
Project Director	
Date	13.10.16
Drawing Number	Rev
Scale	
Drawn	1318-0075

Coord.	
Reviewed	
Verified	
Approved	
North	

Rev	Description	Drawn	Date
A	SOLE FOR REVIEW	AL&CH	24.03.16
B	SOLE FOR DA	AL&CH	20.02.16
C	SOLE FOR DA	AL&CH	20.02.16
D	SOLE FOR DA	AL&CH	13.10.16

All dimensions are in millimetres. All levels are in metres.
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GOOGONG TOWNSHIP PTY LTD

PROPOSED NEW RESIDENCE
LOT 1318 IN DP1217419 GOOGONG

Drawing Title
**LOT 1318 GOOGONG
SHADOW DIAGRAMS**

Scale _____ Drawn _____

Project Architect AL&H
Project Director _____
Date 13.10.16
Drawing Number Rev
1318-0076

Coord.
Reviewed
Verified
Approved
North

Rev	Description	Drawn	Date
A	SOLE FOR REVIEW	AL&H	24.03.16
B	SOLE FOR DA	AL&H	20.02.16
C	SOLE FOR DA	AL&H	28.06.16
D	SOLE FOR DA	AL&H	13.10.16

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QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

26 OCTOBER 2016

- | | |
|--------------|--|
| ITEM 8.3 | DEVELOPMENT APPLICATION 71-2016 FOR SMALL LOT HOUSING COMPRISING 10 X TORRENS TITLE LOTS, 2 X STRATA TITLE LOT, 1 X PUBLIC LANEWAY, AND ERECTION OF 12 X DWELLINGS,- LOT 1318 DP1217419, GOOGONG |
| ATTACHMENT 6 | COUNCIL MEETING - 26 OCTOBER 2016 - DA 71-2016 - SMALL LOT HOUSING - LOT 63 APRASIA AVENUE - DRAFT CONDITIONS OF CONSENT |

CONDITIONS OF APPROVAL

PART A – Subdivision Conditions

NOTE: The following groups of conditions apply to the subdivision approved under this consent, including the Torrens Title Scheme and the Strata Title Scheme.

PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE (SUBDIVISION)

1. SUBMIT A PLAN SHOWING BINS PADS LOCATION ON THE VERGE OF PUBLIC LANEWAY

Prior to the issue of any Construction Certificate (Building) a satisfactory plan showing the location of bins pads within the laneway verge for a studio dwelling on Lot 1A and dwellings on Lots 3 – 9 before collection must be submitted to Council for approval. The location of bins pads must not affect the vehicle manoeuvrability off garages/carports to the public laneway.

Bins for dwellings on Lots 1 and 10 will be placed on the Saphira Street verge before collection. Bins for dwelling on lot 2 and studio dwelling on Lot 2A will be placed on Helen Circuit verge.

The bins pads allocated to studio dwelling on Lot 1A and dwelling on Lots 3 – 9 must be clearly numbered prior to the occupation of the buildings.

REASON: To ensure safe entry and exit to the garages/carport from the laneway and to ensure the allocated bins pads are used by the nominated dwellings only. (56.01)

2. LIGHTING IN PUBLIC LANEWAY

Prior to the issue of a Construction Certificate (Building) a lighting plan showing appropriate lighting throughout the public laneway must be submitted to Council for approval.

Lighting throughout the public laneway must comply with AS 1158 - Lighting for Roads and Public Spaces.

REASON: To ensure the provision of adequate lighting within the development. (56.01)

3. DECORATIVE ELEMENTS WITHIN THE PUBLIC LANEWAY

Prior to the issue of a Construction Certificate (Building) an amended site plan showing additional decorative elements/ surface treatments such as paving or stencilling within the public laneway is required to be submitted to Council for approval.

REASON: To break up the public laneway and create visual appeal through the use of different treatments. **(56.01)**

4. CONSTRUCTION MANAGEMENT PLAN

Prior to release of any Construction Certificate (Subdivision) a Construction Management Plan (CMP) must be submitted to Council and approved by the Principal Certifying Authority for the proposed construction works or, if the proposed works are staged, for each stage of the proposed construction works. The plan must:

- a) describe the proposed construction works;
- b) outline the proposed construction program;
- c) set standards and performance criteria for each of the relevant environmental issues [see (f) below];
- d) describe what actions and measures would be implemented to ensure that these works comply with the specified standards and performance measures;
- e) describe how the effectiveness of these actions and measures would be monitored during the proposed works;
- f) include a detailed:
 - i. Soil, Water and Vegetation Management Plan,
 - ii. Waste Management Plan to identify the type of waste that will be generated by the development and method of disposal to be utilised. Applicants should consider whether it is possible to re-use materials either on-site or off-site,
 - iii. Noise Management Plan,
 - iv. Dust Management Plan,
 - v. Traffic Management Plan prepared in accordance with the requirements of Council's City Infrastructure Division,
- g) describe what procedures would be implemented to receive, register, report and respond to any complaints during the construction works; and
- h) identify the key personnel who would be involved in the construction works, and provide contact numbers for this personnel.

The approved CMP is to be adhered to at all times during construction works of each stage.

REASON: To ensure satisfactory environmental management of the site.

5. WATER & SEWER COMPLIANCE CERTIFICATE - DESIGN

Prior to the release of a Construction Certificate (Subdivision) a certificate of compliance in accordance with the *Water Management Act 2000* must be obtained from Council.

The application for the certificate of compliance must be accompanied by four copies of the Civil Engineering plans for the design of the water reticulation and sewerage systems, drawn in accordance with Council's *Development Design Specification - Googong* (Version 1, dated June 2011).

REASON: To ensure that the hydraulic design is in accordance with the relevant Design and Construction specifications. **(56.05)**

Note: This water and sewer compliance certificate is only required if the development involves alterations to Council's existing water and/or sewer infrastructure but involves no subdivision.

PRIOR TO COMMENCEMENT (SUBDIVISION)

6. CONSTRUCTION CERTIFICATE (SUBDIVISION) TO BE ISSUED

Prior to the commencement of any stage of subdivision works approved under this development consent a Construction Certificate (Subdivision) must be issued by Council or an Accredited Certifier.

REASON: To satisfy the requirements of the Environmental Planning and Assessment Act 1979. **(57.05)**

7. SUBMIT NOTICE OF COMMENCEMENT OF SUBDIVISION WORK

A Notice to Commence Subdivision Works must be submitted to Council at least two days prior to commencing any subdivision works and nominating Council as the Principal Certifying Authority for the subdivision works.

NOTE: A quotation for Council to perform the duties of Principal Certifying Authority for the subdivision works will be provided upon submission of the Construction Certificate (Subdivision) to Council.

REASON: To provide for supervision of the subdivision works. **(57.06)**

8. SUBDIVISION CONSTRUCTION CERTIFICATE

The Construction Certificate (Subdivision) and accompanying engineering design plans and Certification Report must be submitted to Council prior to the commencement of any works for a subdivision stage. Works associated with the subdivision stage shall subsequently be carried out in accordance with the detailed design drawings and specifications the subject of the Construction Certificate (Subdivision).

The engineering plans must comply with the requirements of Council's Googong Design and Construction Specifications (Version 1, dated June 2011) and include the following where applicable to a subdivision stage -

- (a) A Certification Report in accordance with Clause DQS.04;**
- (b) This general note - All work must be constructed in accordance with the requirements of Council's Googong Design and Construction Specifications (Version 1, dated June 2011);**
- (c) Work as executed information to be supplied for completed works prior to construction certificate issue;**
- (d) Individual services to serve strata lots; and**
- (e) The location of the lighting within the laneway and its compliance with AS 1158 - Lighting for Roads and Public Spaces is required to be provided to Queanbeyan-Palerang Regional Council as a part of the Subdivision Construction Certificate.**

REASON: To provide design certification of the subdivision works. **(57.07)**

9. ERECT A SIGN FOR ANY DEVELOPMENT WORKS

A sign must be erected and maintained in a prominent position on any site on which building or subdivision work is being carried out;

- (a) Showing the name, address and telephone number of the Principal Certifying Authority for the work.**
- (b) Showing the name of the principal contractor (if any) for the building work and a telephone number on which that person may be contacted outside working hours.**
- (c) Stating that unauthorised entry to the work site is prohibited.**

REASON: To satisfy the provisions of Clause 136B and 227A of the Environmental Planning and Assessment Regulation 2000. **(57.08)**

10. PROVIDE WORKERS TOILET FACILITIES

Adequate toilet facilities for workers must be provided at or in the vicinity of the work site.

REASON: To provide suitable and hygienic toilet facilities for use by people visiting or working on the site. **(57.09)**

11. SUBMIT A TRAFFIC MANAGEMENT PLAN

Prior to work commencing a Traffic Management Plan for the construction works must be submitted to, and approved by, Council under the provisions of Section 138 of the Roads Act 1993.

REASON: To ensure that adequate arrangements are made for traffic and pedestrian safety during the construction works. **(57.13)**

12. WORKS SITES TO BE FENCED

A hoarding/fence must be erected between the development site and public places before commencement of any other work.

REASON: To ensure that an effective barrier is provided to preserve the safety of people and property in public places. **(58.07)**

**SITE MANAGEMENT DURING CONSTRUCTION OF
SUBDIVISION
WORKS**

13. INSTALL EROSION AND SEDIMENT CONTROLS

Erosion and sediment controls must be installed on the site and maintained during the construction period.

REASON: To prevent soil erosion, water pollution and the discharge of loose sediment on surrounding land. **(58.03)**

14. HOURS OF OPERATION FOR WORKS

All works associated with the construction of this development must be carried out between the following hours:

Weekdays:	7.00am to 6.00pm
Saturdays:	8.00am to 4.00pm
Sundays and Public Holidays:	No Work

REASON: To reduce the chance of offensive noise being created and to minimise the impacts of the development in its locality. **(58.04)**

15. WORK ON ADJOINING LAND IS LIMITED

The verge and other adjoining lands must not be used for storage of materials or disturbed by construction activities except for:

- (a) Installation of a temporary, stabilised construction access across the verge.**
- (b) Installation of services.**
- (c) Construction of an approved permanent verge crossing.**

REASON: To minimise interference with the verge and its accessibility by pedestrians.
(58.05)

16. REPAIR DAMAGED PUBLIC PROPERTY

All damage caused to public property during the establishment of the development must be repaired or reinstated prior to the issue of any Occupation Certificate.

REASON: To ensure that all public property in the vicinity of the development is maintained in its pre-development condition. **(58.06)**

17. TEMPORARY VEHICLE ACCESS

Temporary vehicle access to the site must be stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud or similar materials must be removed from the roadway by sweeping, shovelling, or a means other than washing, on a daily basis or as required. Soil washings from wheels must be collected and disposed of in a manner that does not pollute waters.

REASON: To minimise transfer of soil from the site onto the road pavement. **(58.08)**

GENERAL CONDITIONS FOR SUBDIVISION OF LAND

18. STREET NUMBERING

Street numbering for each new lot must be obtained from Council's Land Information System (LIS) Officer prior to the submission of any application for a Subdivision Certificate.

REASON: To ensure that each lot has a street number allocated ready for submission to NSW Land and Property Information. **(59.09)**

19. GOOGONG LOCAL PLANNING AGREEMENT

The Googong Urban Development Local Planning Agreement must be complied with.

REASON: To ensure satisfactory provision of services, amenities, works and monetary contributions for the development. **(59.12)**

20. IN ACCORDANCE WITH THE APPROVED PLANS

The development must be carried out generally in accordance with all of the documents accompanying the development application and with the plans bearing the Council approval stamp, and any amended plans approved under subsequent modification(s) to the development consent, except where varied by notations made in red ink by Council or conditions of approval.

In the event of any inconsistency between conditions of this consent and the drawings/documents referred to above, the conditions of this consent prevail.

REASON: To ensure the development is completed in accordance with the approved plans and the development consent. **(59.02)**

CONSTRUCTION OF INFRASTRUCTURE

21. SEPARATE CONNECTIONS & SERVICES

A separate sewer connection, stormwater drainage connection, water service, electricity supply and communication service must be provided to each allotment within the subdivision at the Subdivider's expense.

NOTE: The Subdivider may, at their own expense, provide a gas connection to such allotment within the subdivision subject to its availability.

NOTE: The Subdivider is responsible for all public utilities and services in the area of work and as such must notify all relevant Authorities and bear all costs associated with any repairs and/or adjustments as those Authorities deem necessary.

REASON: To provide access to services for each allotment. **(67.02)**

22. INSPECTIONS – WATER & SEWER AUTHORITY

Inspections must be performed by the Water and Sewer Authority (Council) when works reach the following stages:

- (a) immediately prior to connection of new sewer pipes to the existing sewerage system,**
- (b) immediately prior to connection of new water pipes to the existing water reticulation,**
- (c) immediately prior to the backfilling of sewer drainage trenches, and**
- (d) immediately after installation of any on-site stormwater management system.**

Council's Environment, Planning and Development section must be given 24 hours notice of the need for these inspections.

***Note** Any inspections carried out by Council do not imply Council approval or acceptance of the works, and do not relieve the Developer from the requirements to provide an Engineering Construction Certificate Report in accordance with Council's Design and Construction Specifications.*

REASON: To ensure that hydraulic services are constructed in accordance with Council requirements. **(67.03)**

23. WORK IN ACCORDANCE WITH ENGINEERING SPECIFICATIONS

All construction and restoration work must be carried out strictly in accordance with the approved drawings and Council's *Googong Design and Construction Specifications* (Version 1, dated June 2011).

REASON: To ensure construction and restoration work is in accordance with Council's requirements. **(67.05)**

24. PROTECTION OF WORKS ON PUBLIC ROADS

Lighting, fencing, traffic control advanced warning signs must be provided for the protection of works and for the safety and convenience of the public, in accordance with Council's *Googong Design and Construction Specifications* (Version 1, dated June 2011).

Traffic movement in both directions on public roads and vehicular access to private properties must be maintained at all times, during the currency of the works.

REASON: To ensure an adequate level of public safety and convenience during construction. **(67.06)**

ENVIRONMENTAL

25. NOISE MANAGEMENT

The applicant must ensure that noise generated by the development does not exceed the criteria set by the NSW Office of Environment and Heritage. This is generally a level of 5dB above background noise level.

This is measured by monitoring the level of noise from any activity within the development represent by the L_{aeq} descriptor, measured over a 15 minute period. This measurement must not exceed the background level at that time of day by more than 5dB.

REASON: To minimise the impact of noise generated by the development on surrounding residential areas.

PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE (TORRENS)

26. LANEWAY SIGNPOSTING

The public laneway is required to be sign posted indicating that the direction of traffic is one directional from Saphira Street to Helen Circuit.

REASON: The laneway design does not permit two way traffic. **(68.01)**

27. APPLICATION AND FINAL SURVEY

An application to obtain a Subdivision Certificate must be made to Council. This must be accompanied by the following documentation:

- (a) A final survey plan of subdivision and three copies;**
- (b) A letter outlining how compliance with each condition of this development consent has been achieved; and**
- (c) Engineering Construction Certificate Report in accordance with specifications.**

REASON: To ensure works are completed in accordance with the requirements of the Council and to comply with Section 109 Environmental Planning and Assessment Act 1979. **(68.02)**

28. STATEMENT FROM SURVEYOR

Upon the completion of subdivision works and prior to the issue of any Subdivision Certificate a statement prepared by a registered surveyor, must be submitted to the Principal Certifying Authority stating that all water, sewer and stormwater pipelines are completely located within their easements.

REASON: To ensure works are completed in accordance with Council's requirements. **(68.03)**

29. WATER & SEWER COMPLIANCE CERTIFICATE - SERVICE

Prior to the release of a Subdivision Certificate, a certificate of compliance in accordance with the *Water Management Act 2000* must be obtained from Council.

REASON: To ensure compliance with Section 109J of the Environmental Planning and Assessment Act 1979. **(68.04)**

Note: *This certificate is required regardless of any other water and sewer compliance certificate previously obtained, and regardless of whether the development involved alterations to Council's infrastructure.*

30. SUBMISSION FROM SERVICE AUTHORITY

Prior to the issue of any Subdivision Certificate written evidence from the relevant service authority or a suitably accredited person that satisfactory arrangements have been made for the supply of reticulated electricity, telephone services and natural gas to each lot must be submitted to Council.

REASON: To satisfy relevant utility authority requirements. **(68.05)**

31. MAINTENANCE OF SUBDIVISION WORKS - DEFECTS LIABILITY BOND

The completed subdivision works are to be maintained by the Subdivider at their own expense, for a period of six months after the date of the issue of the relevant Subdivision Certificate.

The Subdivider must:

- (a) Lodge a cash bond with Council with regard to such maintenance in an amount as calculated from fees set by Council's Management Plan and current at the time of issue of the Subdivision Certificate; and**
- (b) Submit written authorisation that in the event of any maintenance work not being completed to the standards specified in Council's *Googong Design and Construction Specifications* (Version 1, dated June 2011), Council may enter the subject land and undertake such maintenance work and to deduct the cost thereof from such Bond monies held by Council and to refund the balance, if any, to the Subdivider.**

During the maintenance period the Subdivider will be liable for any part of the subdivision works which fail to perform in the manner outlined in Council's *Googong Design and Construction Specifications* (Version 1, dated June 2011) (or as would reasonably be expected under the design conditions).

REASON: To ensure works are completed in accordance with Council's requirements. **(68.06)**

32. CERTIFICATION OF LOT SERVICING

Prior to the issue of any Subdivision Certificate certification from a person licensed by the NSW Office of Fair Trading to perform works in accordance with the requirements of the Local Government (Water, Sewerage and Drainage) Regulations 1993, AS 3500 National Plumbing and Drainage Code and the New South Wales Code of Practice – Plumbing and Drainage that the lots are independently serviced in respect of water, sewerage and drainage and that all prior connections across the proposed lots have been capped off must be submitted to Council.

REASON: To achieve independent servicing to each lot. **(68.07)**

33. GEOTECHNICAL REPORT

A geotechnical report must be submitted to Council detailing the classification of soil type generally found within the subdivision. A general classification for each lot within the subdivision must be provided and such classifications must be made by a Geotechnical Engineer in accordance with the provisions of AS 2870 “Residential Slabs and Footings”. The classification reports must be submitted to Council prior to the release of the Subdivision Certificate.

REASON: To ensure works are undertaken in accordance with geotechnical recommendations. **(68.10)**

PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE (STRATA)

34. APPLICATION AND FINAL SURVEY

An application to obtain a Strata Certificate must be made to an accredited certifier or the Council. This must be accompanied by the following documentation:

- (a) A final survey plan of subdivision and three copies; and**
- (b) A letter outlining how compliance with each condition of this development consent has been achieved.**

REASON: To comply with Section 109J of the *Environmental Planning and Assessment Act 1979*. **(69.02)**

35. COMPLIANCE WITH CONDITIONS (STRATA ONLY)

All conditions of this development consent must be complied with prior to the strata plan being signed and released by the accredited certifier.

REASON: To ensure the development is completed in accordance with the conditions of development consent prior to release of the strata certificate. **(69.03)**

36. WATER & SEWER COMPLIANCE CERTIFICATE - SERVICE

Prior to the release of a Strata Subdivision Certificate, a certificate of compliance in accordance with the *Water Management Act 2000* must be obtained from Council.

REASON: To ensure compliance with Section 109J of the *Environmental Planning and Assessment Act 1979*. **(69.04)**

Note: *This certificate is required regardless of any other water and sewer compliance certificates previously obtained and regardless of whether the development involved alterations to Council’s infrastructure.*

PART B - Erection of Dwellings Conditions

NOTE: The following groups of conditions apply only to the erection of dwellings approved under this consent.

PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE (BUILDING)

37. WATER & SEWER COMPLIANCE CERTIFICATE - DESIGN

Prior to the release of a Construction Certificate (Building) a certificate of compliance in accordance with the *Water Management Act 2000* must be obtained from Council.

The application for the certificate of compliance must be accompanied by four copies of the Civil Engineering plans for the design of the water reticulation and sewerage systems, drawn in accordance with Council's *Development Design Specification - Googong* (Version 1, dated June 2011).

REASON: To ensure that the hydraulic design is in accordance with the relevant Design and Construction specifications. **(56.05)**

Note: This water and sewer compliance certificate is only required if the development involves alterations to Council's existing water and/or sewer infrastructure but involves no subdivision.

38. SUBMIT ENGINEERING DESIGN FOR STORMWATER DRAINAGE

Prior to the issue of any Construction Certificate (Building) an engineering design for the stormwater drainage system must be submitted to Council as the Water and Sewer Authority for approval.

REASON: To ensure satisfactory disposal of stormwater. **(56.06)**

39. SUBMIT A CONSTRUCTION MANAGEMENT PLAN

Prior to release of any Construction Certificate (Building) a Construction Management Plan for the management of soil, water, vegetation, waste, noise, vibration, dust, hazards and risk for the construction works must be submitted to, and endorsed by, Council. The plan must:

- (a) describe the proposed construction works and construction program and,**
- (b) set standards and performance criteria to be met by the construction works and,**
- (c) describe the procedures to be implemented to ensure that the works comply with the standards and performance criteria and,**
- (d) identify procedures to receive, register, report and respond to complaints and,**
- (e) nominate and provide contact details for the persons responsible for implementing and monitoring compliance with the plan.**

REASON: To ensure that satisfactory measures are in place to provide for environmental management of the construction works. **(56.16)**

PRIOR TO COMMENCEMENT OF WORK ON ANY DWELLING

40. CONSTRUCTION CERTIFICATE (BUILDING) TO BE ISSUED

The erection of a building in accordance with the development consent must not be commenced until a Construction Certificate has been issued by Council or an Accredited Certifier.

REASON: To satisfy the requirements of Section 81A of the Environmental Planning and Assessment Act 1979. **(57.03)**

41. SUBMIT NOTICE OF COMMENCEMENT OF BUILDING WORK

A Principal Certifying Authority for the building work must be appointed and the Principal Certifying Authority must, no later than two days before the building works commences, notify Council of his or her appointment.

REASON: To satisfy the requirements of Section 81A of the Environmental Planning and Assessment Act 1979. **(57.04)**

42. ERECT A SIGN FOR ANY DEVELOPMENT WORKS

A sign must be erected and maintained in a prominent position on any site on which building or subdivision work is being carried out;

(a) Showing the name, address and telephone number of the Principal Certifying Authority for the work.

(b) Showing the name of the principal contractor (if any) for the building work and a telephone number on which that person may be contacted outside working hours.

(c) Stating that unauthorised entry to the work site is prohibited.

REASON: To satisfy the provisions of Clause 136B and 227A of the Environmental Planning and Assessment Regulation 2000. **(57.08)**

44. PROVIDE WORKERS TOILET FACILITIES

Adequate toilet facilities for workers must be provided at or in the vicinity of the work site.

REASON: To provide suitable and hygienic toilet facilities for use by people visiting or working on the site. **(57.09)**

SITE MANAGEMENT DURING CONSTRUCTION OF EACH DWELLING

45. PROVIDE WASTE STORAGE RECEPTACLE

A waste receptacle must be placed on the site for the storage of waste materials.

REASON: To prevent pollution of surrounding areas. **(58.02)**

46. INSTALL EROSION AND SEDIMENT CONTROLS

Erosion and sediment controls must be installed on the site and maintained during the construction period.

REASON: To prevent soil erosion, water pollution and the discharge of loose sediment on surrounding land. **(58.03)**

47. HOURS OF OPERATION FOR WORKS

All works associated with the construction of this development must be carried out between the following hours:

Weekdays:	7.00am to 6.00pm
Saturdays:	8.00am to 4.00pm
Sundays and Public Holidays:	No Work

REASON: To reduce the chance of offensive noise being created and to minimise the impacts of the development in its locality. **(58.04)**

48. WORK ON ADJOINING LAND IS LIMITED

The verge and other adjoining lands must not be used for storage of materials or disturbed by construction activities except for:

- (a) Installation of a temporary, stabilised construction access across the verge.**
- (b) Installation of services.**
- (c) Construction of an approved permanent verge crossing.**

REASON: To minimise interference with the verge and its accessibility by pedestrians. **(58.05)**

49. REPAIR DAMAGED PUBLIC PROPERTY

All damage caused to public property during the establishment of the development must be repaired or reinstated prior to the issue of any Occupation Certificate.

REASON: To ensure that all public property in the vicinity of the development is maintained in its pre-development condition. **(58.06)**

50. WORKS SITES TO BE FENCED

A hoarding/fence must be erected between the development site and public places before commencement of any other work.

REASON: To ensure that an effective barrier is provided to preserve the safety of people and property in public places. **(58.07)**

51. TEMPORARY VEHICLE ACCESS

Temporary vehicle access to the site must be stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud or similar materials must be removed from the roadway by sweeping, shovelling, or a means other than washing, on a daily basis or as required. Soil washings from wheels must be collected and disposed of in a manner that does not pollute waters.

REASON: To minimise transfer of soil from the site onto the road pavement. **(58.08)**

GENERAL CONDITIONS

52. IN ACCORDANCE WITH THE APPROVED PLANS

The development must be carried out generally in accordance with all of the documents accompanying the development application and with the plans bearing the Council approval stamp, and any amended plans approved under subsequent modification(s) to the development consent, except where varied by notations made in red ink by Council or conditions of approval.

In the event of any inconsistency between conditions of this consent and the drawings/documents referred to above, the conditions of this consent prevail.

REASON: To ensure the development is completed in accordance with the approved plans and the development consent. **(59.02)**

53. PROVIDE INDIVIDUAL STORAGE AREAS

Amended plan must be submitted to Council for approval showing all dwellings to be provided with a lockable external storage with a minimum volume of 6m³.

All individual storage areas must be fully enclosed and secured with lockable doors.

REASON: To provide secure storage areas for each of the dwellings. **(59.07)**

BUILDING

54. COMPLY WITH THE BUILDING CODE OF AUSTRALIA

All building work must be carried out in accordance with the requirements of the Building Code of Australia.

REASON: This is a prescribed condition under the provisions of clause 98 of the Environmental Planning and Assessment Regulation 2000. **(60.02)**

55. HOME BUILDING ACT REQUIREMENTS

Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the council) has given Council written notice of the following information:

(a) In the case of work for which a principal contractor is required to be appointed:

- (i) The name and licence number of the principal contractor.**
- (ii) The name of the insurer by which the work is insured under Part 6 of that Act.**

(b) In the case of work to be done by an owner-builder:

- (i) The name of the owner-builder.**
- (ii) If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.**

REASON: This is a prescribed condition under the provisions of clause 98B of the Environmental Planning and Assessment Regulation 2000. **(60.03)**

56. ALL WORKS TO BE CONFINED TO THE SITE

All excavation, backfilling, construction and other activities associated with the development must:-

(a) Be carried out entirely within the allotment boundaries unless otherwise approved by Council.

(b) If within one metre of the verge, the site must be protected by a hoarding which must be erected prior to the commencement of the demolition works.

(c) Be kept clear of stormwater, sewer manholes and service easements on the site.

REASON: To ensure that all development activity associated with the development does not pose a hazard to life or property and that the effectiveness of public services is not impaired. **(60.05)**

57. SUBMIT SURVEY PLAN SHOWING BOUNDARY SETBACKS

The building must be set out by a Registered Surveyor in accordance with the datum shown on the approved plans. A survey plan that identifies the location of the building in relation to the allotment boundaries must be prepared upon completion of the base course brickwork and then be submitted to the Principal Certifying Authority.

REASON: To ensure building has been sited in accordance with the approved plans. **(60.08)**

58. SUBMIT SURVEY PLAN SHOWING BOUNDARY SETBACKS AND FLOOR LEVELS

A survey plan that identifies the height of the finished ground floor must be prepared by a Registered Surveyor upon completion of the ground floor and then submitted to the Principal Certifying Authority.

REASON: To ensure the building is sited and constructed in accordance with the approved plans. **(60.09)**

59. RETAINING WALL/S

All excavations, backfilling and other activities associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards. Excavations or fill extending to within 1 metre of boundary must be supported by retaining wall/s.

Retaining wall/s that exceed 1 metre in height are required to be certified by a structural engineer.

Note: If a retaining wall will exceed 1.5 metres in height or will be located within an easement a separate development consent must be obtained prior to construction.

REASON: To ensure that excavated areas are adequately retained. **(60.17)**

CARPARKING AND ACCESS

60. CAR PARKING TO COMPLY WITH AS2890

All car parks must comply with AS2890 – 2004 Parking Facilities. Driveways and turning aisles must be concreted.

REASON: To provide adequate and functional off-street car parking. **(66.04)**

61. DRIVEWAY REQUIREMENTS IN GOOGONG

The development must include the construction of a residential type driveway over Council's footway at the location shown on the approved plans. The driveway must be:

- (a) Constructed by Council or its approved contractors only, at no cost to the Council.**
- (b) Constructed using plain concrete.**
- (c) Constructed with a 2% grade falling to the gutter.**
- (d) At minimum distance of one metre away from any electrical, Telstra, post box installation, other service or tree within the footway area.**
- (e) Constructed to the width of the existing Vehicle Kerb Crossing.**

REASON: To ensure the construction of the driveway on public lands meets Council's requirements. **(66.09)**

62. DRIVEWAY APPLICATION FORM

A driveway application form must be submitted to and approved by Council prior to commencement of driveway works and construction of the driveway across Council's footway area must be undertaken by Council or contractors approved by Council, at no cost to the Council.

REASON: To ensure the construction of the driveway on public land meets Council's requirements. **(66.10)**

63. ACCORDANCE WITH DRIVEWAY LONGSECTION

The driveway within the property and across Council's footway must be constructed in accordance with the approved driveway long section.

REASON: To provide an adequate standard of vehicle access. **(66.11)**

64. DRIVEWAY LOCATION FROM WATER METER

The driveway within the property must maintain a clearance not less than half a metre from the water service or the water service must be relocated by Council at no cost to Council.

REASON: To ensure such service is not damaged by vehicle movements. **(66.12)**

SAFER BY DESIGN

65. ENTRANCE LIGHTING FOR DWELLINGS

A light must be installed to illuminate the entrance to each dwelling.

REASON: To ensure that dwelling entries are clearly identified. **(71.03)**

66. STREET NUMBERING

Each dwelling must be clearly identified by a street number. Council's Environment, Planning and Development section must be contacted to obtain the correct street number for each dwelling.

REASON: To ensure that buildings are clearly identified. **(71.04)**

LANDSCAPING

67. COMPLETION OF LANDSCAPING

Landscaping of each dwelling site and on the verge along the public laneway is to be completed in accordance with the approved landscape plan.

REASON: To ensure that areas to the street frontage provide an attractive urban landscape. **(73.01)**

68. LANDSCAPING REQUIREMENTS IN GOOGONG

Landscaping must be extended to include the levelling, topsoiling and turfing or grass seeded hydro mulching of the footway between the property boundary and the street kerb and gutter.

Landscaping between the dwelling house and the street boundary is to be completed in accordance with the approved landscape plan.

REASON: To ensure that areas to the street frontage provide an attractive urban landscape. **(73.11)**

ENVIRONMENTAL

69. STORAGE OF WASTE BINS

All bins must be stored within each allotment after collection. No bins are to be stored within the allocated bins pads on the verge of the public laneway, Saphira Street or Helen Circuit.

REASON: To ensure the efficient management of waste bins area. **(76.01)**

70. PLANT AND EQUIPMENT NOISE

Individual air-conditioning systems must be installed as far away as possible from the sleeping rooms of other residential premises or be in a well shielded location. The noise from the unit shall not exceed a level of 5dB(A) above the background level when measured at an adjacent property boundary or unit.

REASON: To reduce the noise nuisance to residents and adjacent neighbours, also to comply with the *Protection of the Environment Operations Act 1997* and Regulations. **(76.04)**

71. LAMINATED GLAZING

Each of the windows within habitable rooms of dwellings facing Gorman Drive (dwellings on Lots 2 – 10) must incorporate laminated glazing at least 6.38mm thick.

REASON: To minimise potential negative impacts of noise upon occupants. **(76.06)**

PRIOR TO ISSUE OF OCCUPATION CERTIFICATE

72. OBTAIN OCCUPATION CERTIFICATE BEFORE OCCUPATION

Occupation or use of whole or part of the building must not commence unless an Occupation Certificate has been issued in relation to the building or part.

REASON: To satisfy the provisions of Section 109M of the Environmental Planning and Assessment Act 1979. **(78.02)**

73. WATER & SEWER COMPLIANCE CERTIFICATE - CONSTRUCTION

Prior to the issue of any Occupation Certificate a compliance certificate of compliance in accordance with the *Water Management Act 2000* must be obtained from Council.

REASON: To ensure the constructed infrastructure and services have been completed to Council's specifications. **(78.03)**

74. COMPLY WITH BASIX CERTIFICATE

The development must be constructed in compliance with the NSW BASIX Certificate as listed below:

Dwelling/Lot	BASIX Certificate Number	Date of issue
1	707959S	02-Mar-2016
1A	706614S	02-Mar-2016
2	707071S	02-Mar-2016
2A	707060S	02-Mar-2016
3	706616S	02-Mar-2016
4	707063S	02-Mar-2016
5	707067S	02-Mar-2016
6	708056S	02-Mar-2016
7	708059S	02-Mar-2016
8	708062S	02-Mar-2016
9	708065S	02-Mar-2016
10	707069S	02-Mar-2016

REASON: To ensure compliance with the requirements of the NSW BASIX certification process. **(78.04)**

75. PROVISION OF TRAVEL ACCESS GUIDE

Prior to the issue of an Occupation Certificate, the applicant is to provide the '*Travel Access Guide*' (TAG) to all new residents to inform them of their transport options.

REASON: To satisfy the requirements of NSW Transport.

OTHER APPROVALS (Section 78A(5) Environmental Planning & Assessment Act 1979 as amended):

Section 68 Local Government Act 1993

CARRY OUT WORK TO WATER, METER, DRAINAGE, SEWER

PLUMBING AND DRAINAGE

76. PLUMBING AND DRAINAGE INSTALLATION REGULATIONS

Plumbing and drainage work must be carried out in accordance with the requirements of the Local Government (General) Regulation 2005, the Plumbing and Drainage Act 2011 and Regulations under that Act and with the Plumbing Code of Australia. Such work must be carried out by a person licensed by the NSW Department of Fair Trading.

REASON: This is a mandatory condition under the provisions of the Local Government (General) Regulation 2005. **(80.02)**

77. INSPECTION OF PLUMBING AND DRAINAGE

Plumbing and Drainage must be inspected by Council at the relevant stages of construction in accordance with Council's inspection schedule.

REASON: To ensure compliance with the inspection requirements of Plumbing and Drainage Regulation 2012 and Council's inspection schedule. **(80.03)**

78. FLOOR LEVEL TO BE 150mm ABOVE YARD GULLY

The floor level of areas with fixtures connected to sewer must be at least 150mm above overflow level of the yard gully and surface water must be prevented from entering the yard gully.

REASON: To ensure any sewage surcharges occur outside the building and to prevent surface water from entering the sewerage system. **(80.05)**

79. HEATED WATER NOT TO EXCEED 50 DEGREES C

All new heated water installations, must deliver hot water at the outlet of all sanitary fixtures used primarily for personal hygiene purposes at a temperature not exceeding 50° Celsius.

REASON: To prevent accidental scalding. **(80.07)**

80. INSULATE HEATED AND COLD WATER SERVICE PIPES

Heated and cold water service pipes installed in the following areas of the building must be insulated in accordance with the requirements of AS 3500: Plumbing and Drainage:

- (a) unheated roof spaces**
- (b) locations near windows, ventilators and external doors where cold draughts are likely to occur**
- (c) locations in contact with cold surfaces such as metal roof and external metal cladding materials.**

REASON: To prevent the water service being damaged by water freezing within the pipes due to local climatic conditions. **(80.12)**

81. PROVIDE WATER METER

Each dwelling is to be individually serviced with a 20mm potable and recycled water service and meter. These must be applied for with Council (and paid) prior to the issue of Construction Certificate (Building) for the dwellings.

The meters must be located in an easily accessible position at the front of the dwelling or other accessible position approved by Council and control cocks located externally to buildings must be under a path box cover with a concrete surround.

REASON: To ensure that an adequate water supply is available for the development, to enable the water supply to be readily shut off to individual units if required and to ensure that meters can be read easily. **(80.14)**

82. STORMWATER DISPOSAL REQUIREMENTS IN GOOGONG

Overflow from the rainwater tank and all other stormwater generated within the property must be trapped and piped to the stormwater tie in the lot.

REASON: To provide a satisfactory standard of stormwater disposal. **(80.21)**

83. SERVICING OF STUDIO DWELLINGS

The studio dwellings are to be individually serviced with a 20mm potable and recycled water service and meter. These must be applied for with Council (and paid) prior to the issue of Construction Certificate (Building) for the studio dwellings.

The meters must be located in an easily accessible position at the front of the unit or other accessible position approved by Council and control cocks located externally to buildings must be under a path box cover with a concrete surround.

REASON: To ensure all lots are individually serviced with a potable and recycled water supply. **(80.22)**