



Planning and Strategy Committee of the Whole

12 June 2019

**UNDER SEPARATE COVER
ITEM 6.4 – ATTACHMENTS 1 TO 3**

Item 6.4	Development Application 549-2018 - Health Services Facility (Medical Centre & Pharmacy) - 14 Ferdinand Lane, Jerrabomberra
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QUEANBEYAN-PALERANG REGIONAL COUNCIL

Planning and Strategy Committee of the Whole Meeting
Attachment

12 JUNE 2019

ITEM 6.4	DEVELOPMENT APPLICATION 549-2018 - HEALTH SERVICES FACILITY (MEDICAL CENTRE & PHARMACY) - 14 FERDINAND LANE, JERRABOMBERRA
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ATTACHMENT 1	DA 549-2018 - SECTION 4.15 REPORT - MATTERS FOR CONSIDERATION - HEALTH SERVICES FACILITY - 14 FERDINAND LANE
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ATTACHMENT - SECTION 4.15 TABLE – Matters for Consideration

This application has been assessed under Section 4.15 of the *Environmental Planning and Assessment Act 1979* and the following matters are of relevance to **Development Application No 549-2018**.

State Environmental Planning Policies

The proposed development has been assessed in accordance with the requirements of the relevant State Environmental Planning Policies (SEPPs) including any draft SEPPs and a summary is provided in the following table:

SEPP COMMENTS	COMPLIES (Yes/No)
<i>State Environmental Planning Policy No 55 - Remediation of Land</i>	
<p>Clause 7(1) prescribes that a consent authority must not consent to the carrying out of any development on land unless it has considered whether the land is contaminated.</p> <p>This matter was considered under the subdivision application (DA 192-2016). A phase 2 Environmental Site Assessment (Coffey Environments Australia Pty Ltd (Ref: ENAUBRAD01138AA) and dated 23 November 2011) was submitted which identified several areas of environmental concern and recommended that a Remedial Action Plan (RAP) be prepared for the land and remediation carried out.</p> <p>The development consent required additional works including preparation of a Remedial Action Plan and subsequent validation activities (validation report) of the site prior to the commencement of any development work on the site.</p> <p>No conditions will be required for this application in regards to contamination and remediation of land, as all relevant works have been completed in accordance with the requirements of DA 192-2016 upon release of the subdivision certificate. The site is considered appropriate for this type of development.</p>	Yes

Local Environmental Plans

The proposed development has been assessed in accordance with the relevant requirements of the *Queanbeyan Local Environmental Plan (Poplars) 2013* and no relevant draft LEPs apply to the land. A summary is provided as follows:

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
<i>Part 1 Preliminary</i>	
<i>Clause 1.2 Aims of Plan</i>	
<p>(1) This Plan aims to make local environmental planning provisions for land in the City of Queanbeyan known as “The Poplars” in accordance with the relevant standard environmental planning instrument under section 33A of the Act.</p> <p>(2) The particular aims of this Plan are as follows: (a) to rezone certain land at The Poplars to achieve economically, environmentally and socially sustainable urban development that complements and provides a range of facilities for the benefit of the adjoining Jerrabomberra community,</p>	Yes

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
<p>(b) to facilitate the orderly growth of the Poplars urban release area in a staged manner that promotes a high level of amenity for workers and the timely provision of physical and social infrastructure through appropriate phasing of the development of land,</p> <p>(c) to identify, protect and manage environmentally and culturally sensitive areas within Poplars, including but not limited to waterways and riparian corridors, habitat corridors, native vegetation and associated buffers, and heritage items,</p> <p>(d) to provide appropriate employment and community land use opportunities consistent with the environmental capacity of the land,</p> <p>(e) to provide appropriate controls for future development to minimise any adverse impact on the adjoining Jerrabomberra community.</p> <p>The proposed development is consistent with the aims and objectives of the QLEP (Poplars) 2013. The proposed development will provide healthcare services to the local community, create additional choice for consumers and add to local employment opportunities in the Queanbeyan-Palerang Council area.</p>	
<p>Clause 1.4 Definitions</p>	
<p>The proposed development will incorporate a medical centre and pharmacy. The proposed development on the whole is defined as a health services facility.</p> <p>Under the Queanbeyan Local Environmental Plan 2013 (Poplars) a Health Services Facility is defined as:</p> <p>Health Services Facility means a building or place used to provide medical or other services relating to the maintenance or improvement of the health, or the restoration to health, of persons or the prevention of disease in or treatment of injury to persons, and includes any of the following:</p> <p>(a) a medical centre,</p> <p>(b) community health service facilities,</p> <p>(c) health consulting rooms,</p> <p>(d) patient transport facilities, including helipads and ambulance facilities,</p> <p>(e) hospital.</p> <p>Tenancy B & C of the proposed development can be defined as a Medical Centre, which is defined as: Medical Centre means premises that are used for the purpose of providing health services (including preventative care, diagnosis, medical or surgical treatment, counselling or alternative therapies) to out-patients only, where such services are principally provided by health care professionals. It may include the ancillary provision of other health services.</p> <p>Note.</p> <p>Medical centres are a type of Health Services Facility—see the definition of that term in this Dictionary.</p> <p>Tenancy A, which is intended to be utilised as a Pharmacy, is considered ancillary to the predominant use of the site as a Health Services Facility (Medical Centre). Figure 5 below depicts the location of each tenancy within the proposed building.</p>	<p>Yes</p>
<p>Clause 1.9A Suspension of Covenants, Agreements and Instruments</p>	
<p>There are no easements or restrictions that affect the proposed development.</p>	<p>N/A</p>
<p>Part 2 Permitted or Prohibited Development</p>	
<p>Clause 2.1 Land Use Zones</p>	

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
The subject site is located within the B1 Neighbourhood Centre Zone.	Yes
Clause 2.3 Zone Objectives and Land Use Tables	
<ul style="list-style-type: none"> To provide a range of small-scale retail, business and community uses that serve the needs of people who live or work in the surrounding neighbourhood. To permit small-scale non-residential uses that will provide goods and services to meet the day-to-day needs of people who live and work in the surrounding neighbourhood. To provide active land uses at street level. To ensure that residential development does not compromise the existing and future operations of the Canberra Airport. <p>The proposed development is consistent with the zone objectives. Specifically, it will service the needs of people who live and work in the surrounding area and provide local employment opportunities.</p>	Yes
Clause 2.7 Demolition requires development consent	
No demolition is proposed as a part of the application.	N/A
Part 4 Principal Development Standards	
Clause 4.3 Height of buildings	
The subject site has a 12m height limit. The proposed development has a maximum height of 8.7m. Complies.	Yes
Clause 4.4 Floor space ratio	
The maximum floor space ratio for the site is 1:1. The proposed floor space ratio is 0.47:1. Complies.	Yes
Part 5 Miscellaneous Provisions	
Clause 5.10 Heritage conservation	
The proposed development will have a minimal impact in relation to heritage. The site is not heritage listed, is not adjacent to a heritage item and is not located within a Heritage Conservation Area.	Yes
Clause 5.11 Bush fire hazard reduction	
The application does not involve any bush fire hazard reduction works.	Yes
Part 7 Additional Local Provisions	
Clause 7.1 Earthworks	
Clause 7.1 of the QLEP 2012 establishes a number of matters requiring consideration for development involving earthworks. Earthworks associated with the development are proposed and form part of this application. The proposed earthworks will not have a detrimental impact on drainage patterns and soil stability or the existing and likely amenity of adjoining properties. The development application will be condition to mitigate the potential impact of soil erosion and the like during construction.	Yes
Clause 7.2 Flood Planning	
Clause 7.2 of the QLEP 2012 makes provision for developments within the flood planning area. The site is not identified as “flood planning area” on the Flood Planning Map, and is not at or below the flood planning level.	Yes
Clause 7.3 Terrestrial biodiversity	
Clause 7.3 of the QLEP 2012 makes for provision for developments that impact on terrestrial biodiversity. This clause is not considered relevant to the proposed development as the site is not identified as “Biodiversity” on the Terrestrial Biodiversity Map.	Yes
Clause 7.4 Riparian land and watercourses	

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN 2012 COMMENTS	COMPLIES (Yes/No)
Clause 7.4 of the QLEP 2012 makes provision for developments within riparian land and watercourses. This clause is not considered relevant to the proposed development as the site is not identified as "Watercourse" on the Riparian Land and Watercourses Map".	Yes
Clause 7.5 Scenic protection	
Clause 7.5 of the QLEP 2012 makes provisions for developments impacting on scenic protection land. This clause is not relevant to the proposed development as the site is not identified as "Scenic Protection Area" on the Scenic Protection Map. Subclause (3) of this clause is required to be assessed before the application is determined.	Yes
Clause 7.6 Airspace operations	
Clause 7.6 of the QLEP 2012 makes provisions for developments located in areas that are affected by airspace operations and aircraft noise. The proposed development will not penetrate the Obstacle Limitations Surface Map for the Canberra Airport. Therefore the application was not required to be referred to the relevant Commonwealth body for comment.	Yes
Clause 7.7 Development in areas subject to aircraft noise	
Clause 7.7 of the QLEP 2012 makes provisions for developments subject to aircraft noise. This clause is considered relevant to the proposed development as the site is located near the Canberra Airport or within an ANEF contour of 20 or greater. However, as the site is not proposed for residential use no construction requirements relating to the ANEF is required for this development under the BCA (Building Code of Australia).	Yes
Clause 7.8 Active street frontages	
This clause is not considered relevant to the proposed development as the site is not identified as "Active street frontage" on the Active Street Frontages Map".	Yes
Clause 7.9 Essential services	
<p>Clause 7.9 of the QLEP 2012 requires satisfactory arrangements to be made for water supply, stormwater drainage, solid domestic waste, sewage, and the treatment and disposal of effluent. Along with the supply of electricity and suitable vehicle access.</p> <p>Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:</p> <ul style="list-style-type: none"> (a) the supply of water, (b) the supply of electricity, (c) the disposal and management of sewage, (d) stormwater drainage or on-site conservation, (e) suitable vehicular access. <p>Council's Development Engineer has assessed the proposed development and confirmed that the site does have suitable vehicle access and adequate services are available.</p>	Yes
Clause 7.10 Development near Cooma Road Quarry	
This clause is not considered relevant to the proposed development as the site is not identified as "Buffer Area" on the Quarry Buffer Area Map".	Yes
Clause 7.11 Development near HMAS Harman	
This clause is not considered relevant to the proposed development as the site is not located within 2 kilometres of HMAS Harman or within Zone IN1 General Industrial or Zone IN2 Light Industrial.	Yes

Development Control Plan

The South Jerrabomberra Development Control Plan (DCP) 2012 applies to the development and a summary of the relevant provisions is provided in the following table.

QUEANBEYAN DEVELOPMENT CONTROL PLAN 2012/SOUTH JERRABOMBERRA DEVELOPMENT CONTROL PLAN COMMENTS	COMPLIES (Yes/No)
Part 1 About This Development Control Plan	
<p>1.8 Public Notification Of A Development Application The development application was notified to adjoining owners and advertised and no submissions were received.</p>	Yes
Part 2 All Zones	
<p>2.2 Car Parking The proposed development incorporates a 40 space car parking lot, including 2 disabled parking spaces. The proposed development has a total GFA of 1323m² including 323m² designated for a pharmacy (retail use). The requirements of Part 2 Section 2.2 of the Queanbeyan Development Control 2012 require 10 parking spaces for 100m² of GFA for a Medical Centre and 1 parking space per 40m² for retail pharmacy, which equates to 100 spaces for the Medical Centre and 7 car parking spaces for the Pharmacy. A total of 107 parking spaces for the development is required.</p> <p>The development comprises of insufficient car parking in regards to the requirements under Part 2, Section 2.2 of the QDCP 2012. However, considering the size of the proposed Medical Centre, the requirement under Part 2 of the QDCP 2012 for 10 parking spaces per 100m² is considered onerous and is not consistent with the requirements detailed under the RMS best practice guide. Calculating the car parking in regards to the RMS "Guide to Traffic Generating Development", the development subsequently requires 4 spaces per 100m² of GFA, which means the required parking for the proposed Medical Centre comes to a total of 40 spaces and a total requirement of 47 car parking spaces for the proposed development on the whole.</p> <p>The adjoining ALDI supermarket development at 9 Ferdinand Lane provides additional car parking well above its requirement within the QDCP 2012. As a result shared trips are also considered likely and the proposed car parking is considered sufficient for the site and the proposed development.</p>	Yes
<p>2.3 Environmental Management Waste management calculations have been made in accordance with the 'Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities' published by the NSW EPA (New South Wales Environment Protection Agency). As a result the development has nominated 1100 litre bins for collection twice a week. As each tenancy will require a subsequent development application for each individual fitout, further waste management plans will be required for each individual application and will be conditioned accordingly.</p>	Yes
<p>2.4 Contaminated Land Management Refer to comments against SEPP 55.</p>	Yes
<p>2.6 Landscaping A landscape plan prepared by a Category 1 Landscape Consultant on Council's Register of Landscape Consultants has been submitted with the application. The Landscape Plan proposes a mix of trees, shrubs and grasses/groundcovers. The</p>	Yes

QUEANBEYAN DEVELOPMENT CONTROL PLAN 2012/SOUTH JERRABOMBERRA DEVELOPMENT CONTROL PLAN COMMENTS	COMPLIES (Yes/No)
landscaping is considered appropriate for the site and is generally consistent with the landscaping style proposed by other development within the subdivision.	
2.7 Soil, Water and Vegetation Management Plan (SWVM Plans) A condition of consent will be included to deal with requirements regarding SWVM.	Yes
2.8 Guidelines for Bushfire Prone Areas The subject site is bushfire prone and will be conditioned accordingly for the relevant construction requirements.	Yes
2.9 Safe Design The proposed development contains clear entry and exit points to both the car park and the building. The internal footpath links with the footpath that has been constructed along Ferdinand Lane. Natural and passive surveillance will be adequate throughout the car park. The proposed landscaping is appropriate for the site and will not negatively impact on site lines or create areas to hide. The proposed development sufficiently meets the requirements of this clause.	
2.11 Height of Buildings Refer to LEP assessment (Clause 4.3).	Yes
2.13 Preservation of Trees and Vegetation The subject site is a greenfield site and no tree or vegetation removal is required.	Yes
Part 10 Neighbourhood Centre Controls and Principles	
10.3 Signage <i>Objectives:</i> 1) <i>To ensure that signage (including advertising):</i> <i>i. Is compatible with the desired amenity and visual character of an area.</i> <i>ii. Provides effective communication in suitable locations.</i> <i>iii. Is of high quality design and finish.</i> 2) <i>Maintain uniformity and orderly standards for advertising structures, as well as controlling the number and types of advertisements.</i> 3) <i>Ensure that the placement and design of advertisements and advertising structures are consistent with the architectural theme and design of a building and that such advertisements are not placed on prominent architectural features of a building including gables or the like.</i> 4) <i>Ensure that advertisements and advertising structures do not detract from the streetscape and waterscape of the locality, nor lead to visual clutter through the proliferation of such advertisements.</i> 5) <i>Ensure that advertisements and advertising structures do not constitute a traffic hazard to motorists and pedestrians.</i> 6) <i>Ensure that advertisements and advertising structures do not interfere with the operation of traffic control signs and signals.</i>	Yes

QUEANBEYAN DEVELOPMENT CONTROL PLAN 2012/SOUTH JERRABOMBERRA DEVELOPMENT CONTROL PLAN COMMENTS	COMPLIES (Yes/No)
<p>7) <i>Ensure equal viewing rights where practical, for all advertisements and advertising structures, and to ensure that such advertisements are affixed and maintained in good structural condition at all times.</i></p> <p>8) <i>Reduce the proliferation of advertisements and advertising structures by requiring rationalisation of existing and proposed advertisements and the use of common directory boards in proposed and existing multi occupancy developments.</i> Controls:</p> <p>a) <i>Comply with the relevant controls in Part 9 Signage of this DCP for the type of sign proposed.</i></p> <p>No advertising structures are proposed as a part of this development application. However, as the fitouts for each tenancy will require a separate development application, any proposed signage at that stage will require further assessment against the provisions of this section of the South Jerrabomberra DCP and SEPP 64 Advertising and Signage.</p>	
<p>10.4 Safety and Security</p> <p>Objectives:</p> <p>1) <i>To create an environment in which people feel safe to walk during the day and night.</i> 2) <i>Enhance public safety by reducing opportunities for crime to occur.</i> 3) <i>Improve observation of public and private spaces.</i> 4) <i>Optimise the use of public spaces and facilities by the community.</i> 5) <i>Promote the design of safe, accessible and well maintained buildings and spaces.</i></p> <p>Controls:</p> <p>a) <i>Comply with the relevant controls in Clause 2.9 of the Queanbeyan Development Control Plan 2012</i></p> <p>Please refer to the comments against clause 2.9 of the QDCP 2012 for a further assessment of safety and security. The proposed development is considered acceptable from a safe design/CPTED stance. Adequate site lines and passive and natural surveillance is provided to and from the site and access points are clearly defined. Complies.</p>	Yes
<p>10.5 Site Car Parking</p> <p>Objectives:</p> <p>1) <i>Ensure that onsite parking for all development is provided to meet the anticipated demand of employees, residents and customers.</i></p> <p>Controls:</p> <p>a) <i>Comply with the relevant controls in Clause 2.2 of the Queanbeyan Development Control Plan 2012.</i></p> <p>Please refer to the comments provided against clause 2.2 of the QDCP 2012 assessment. The proposed development is deemed to have sufficient car parking for its intended use.</p>	Yes

QUEANBEYAN DEVELOPMENT CONTROL PLAN 2012/SOUTH JERRABOMBERRA DEVELOPMENT CONTROL PLAN COMMENTS	COMPLIES (Yes/No)
<p>10.6 Change of Use</p> <p><i>Objectives:</i></p> <p>1) <i>To encourage continued use and reuse of existing commercial premises to make the centre financially viable for prospective lessees, landowners and purchasers to establish their proposed business and to promote continued commercial uses and avoid empty premises.</i></p> <p>2) <i>To encourage a vibrant commercial centre.</i></p> <p><i>Controls:</i></p> <p>a) <i>Where the use of an existing building is to be changed Council will require that additional car parking (if any) be provided on the basis of the difference between the requirements for the approved/authorised existing use and the proposed use.</i></p> <p>b) <i>Notwithstanding the above control nothing in this plan shall be applied to require that additional parking is required for the change of use of existing lawful commercial premises within the CBD (where there is no increase in floor space proposed) to:</i></p> <ul style="list-style-type: none"> <i>i. Business premises</i> <i>ii. Food and drink premises</i> <i>iii. Restaurants</i> <i>iv. Retail premises</i> <i>v. Takeaway food & drink premises</i> <i>vi. Kiosks</i> <p><i>As defined under the relevant LEP Instrument.</i></p> <p>The proposed development is located on a Greenfield site. The use of the building as a medical centre and pharmacy will be approved as a part of this application. However, any future change of use application will need to comply with this clause. It is anticipated that separate development applications will be submitted for each tenancy to include fitout works and any proposed future signage.</p>	<p>Yes</p>
<p>10.7 Pedestrian Access and Mobility</p> <p><i>Objectives:</i></p> <p>1) <i>To provide safe and easy access to buildings to enable better use and enjoyment by people regardless of age and physical condition whilst also contributing to the vitality and vibrancy of the public domain.</i></p> <p>2) <i>To ensure buildings and places are accessible to people with a disability.</i></p> <p>3) <i>To provide a safe and accessible public domain.</i></p> <p><i>Controls:</i></p> <p>a) <i>To assist people with a disability the main building entry points should be clearly visible from primary street frontages and enhanced as appropriate with awnings, building signage</i></p>	<p>Yes</p>

QUEANBEYAN DEVELOPMENT CONTROL PLAN 2012/SOUTH JERRABOMBERRA DEVELOPMENT CONTROL PLAN COMMENTS	COMPLIES (Yes/No)
<p><i>or high quality architectural features that improve clarity of building address and contribute to visitor and occupant amenity.</i></p> <p><i>b) The design of facilities (including car parking requirements) for disabled persons shall comply with the relevant Australian Standard (AS 1428 Pt 1 and 2 or as amended) and the Disability Discrimination Act 1992 (as amended).</i></p> <p><i>c) The development shall provide at least one main pedestrian entrance with convenient barrier free access to the ground floor and/or street level.</i></p> <p><i>d) The development shall provide continuous access paths of travel from all public roads and spaces as well as unimpeded internal access.</i></p> <p><i>e) The development shall provide visually distinctive accessible internal access linking to building entry points and the public domain.</i></p> <p><i>f) Pedestrian access ways, entry paths and lobbies shall use durable materials commensurate with the standard of the adjoining public domain (street) with appropriate slip resistant materials, tactile surfaces and contrasting colours.</i></p> <p><i>g) Any new development providing basement car parks shall make provision for access for persons with a disability.</i></p> <p>Internal footpaths along Ferdinand Lane are provided with adequate access through to the subject site. Access points to the site are clearly defined.</p>	
<p>10.12 Additional Objectives and Controls for Poplars Neighbourhood Centre</p> <p><i>Objectives:</i></p> <p><i>1) To ensure that the design, mix and siting of development supports the neighbourhood centre.</i></p> <p><i>2) To ensure that design and siting of the development establishes a high quality, vibrant and attractive place.</i></p> <p><i>3) To ensure that the arrangement of uses takes into account the residential amenity of the adjacent housing.</i></p> <p><i>4) To ensure that the arrangement of uses takes into account and minimises any adverse impacts on the ecological values of the adjoining environmental conservation land.</i></p> <p><i>5) To ensure personal safety for workers and visitors to the development.</i></p> <p><i>6) To ensure design minimises the opportunity for crime and maximises opportunities for passive surveillance.</i></p> <p><i>The Built Form Controls:</i></p> <p><i>a) Development is generally to take the form of 1 to 2 storeys.</i></p>	<p>Yes</p>

QUEANBEYAN DEVELOPMENT CONTROL PLAN 2012/SOUTH JERRABOMBERRA DEVELOPMENT CONTROL PLAN COMMENTS	COMPLIES (Yes/No)
<p><i>b) The equivalent of 3 storey built form structures may be considered in order to provide variation and diversity and may form part of key signage elements and strategic articulation of the built form.</i></p> <p><i>c) The design and siting of buildings shall give consideration to providing a transition to the existing residential development.</i></p> <p><i>d) Where practical, active building frontages at ground level are to define edges to the pedestrian network and public domain elements.</i></p> <p><i>e) Where practical large format retail uses are to contain active uses along primary pedestrian connections and frontages.</i></p> <p><i>f) Blank walls are discouraged.</i></p> <p><i>g) Built form is to include a high level of architectural finish and design.</i></p> <p><i>h) Articulated and varied architectural forms and facades are encouraged.</i></p> <p>The proposed development is single storey, its design and siting is appropriate for the context of the site and the locality and no blank walls are proposed. The built form of the proposal is to a high standard. The proposed building integrates well with the footpath provided along Ferdinand Lane.</p> <p><i>Access and Mobility Controls:</i></p> <p><i>a) Pedestrian links are to be open and the pedestrian network within the Neighbourhood Centre is to facilitate movement between the centre and any new bus stop that might be provided, central public spaces, retail facilities and the carparking areas.</i></p> <p>Note: <i>Additional controls for access and parking are set out in part 5.</i></p> <p>The proposed development in its design does not pose any issues with potential pedestrian links.</p> <p><i>Landscaping and Edge Treatment Controls:</i></p> <p><i>a) The landscaping of a sufficient width and suitable species shall be provided around the perimeter of the neighbourhood centre including Tomsitt Drive</i></p> <p><i>b) The landscape buffer along the eastern edge of the centre shall be designed to provide a suitable buffer to minimise any impact on the amenity of the adjacent residential area.</i></p> <p><i>c) Landscaping along the northern edge shall be designed to minimise any adverse impact to the environment / conservation values of the adjoining land.</i></p> <p><i>d) Landscape edge to Tomsitt Drive shall provide a suitable address whilst also retaining visibility for the commercial uses along the frontage.</i></p> <p><i>e) All landscape areas shall be designed in accordance with safer by environmental design practices.</i></p> <p>A landscape plan was prepared by Enviro Links and submitted with the development application. The landscaping creates a buffer around the development to assist in protecting</p>	

QUEANBEYAN DEVELOPMENT CONTROL PLAN 2012/SOUTH JERRABOMBERRA DEVELOPMENT CONTROL PLAN COMMENTS	COMPLIES (Yes/No)
<p>the amenity of surrounding residential uses. The landscaping will not reduce visibility between the proposed building/site and the road. The landscaping does not contravene any of the practices under safer by environmental design principles.</p> <p><i>Safety and Surveillance Controls:</i></p> <p>a) <i>Buildings should be designed to overlook public domain areas and provide casual surveillance.</i></p> <p>b) <i>Building entrances should be orientated towards the street wherever possible to ensure visibility between entrances, foyers, car parking areas and the street.</i></p> <p>c) <i>Appropriate lighting should be provided to all cycle and pedestrian paths, bus stops, car parks and buildings.</i></p> <p>d) <i>Development should provide clear sight lines and well-lit routes between buildings and the street, and along pedestrian and cycle networks within the public domain.</i></p> <p>e) <i>Consideration should be given to the use of landscape elements so as to not compromise the perceived level of safety.</i></p> <p>The proposed building creates adequate passive surveillance into the surrounding road network and into its own car park. Landscaping is also appropriate for the site and does not reduce site lines or provide areas intruders may hide.</p>	

Additional Planning Considerations

The following additional planning matters apply to the development:

MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
<i>Environmental Planning and Assessment Act Regulation 2000</i>	
<p><i>The provisions of any matters prescribed by the Regulations, which apply to the land to which the development application relates, must be considered.</i></p> <p><i>Clause 92 - Australian Standard AS 2601-1991 (Demolition of Structures).</i> <i>Clause 94 - Fire Safety Considerations (rebuilding/altering/enlarging/extending existing building) applies to the proposal. Recent renovations have been undertaken in the building and it is considered that the measures contained in the building are adequate to protect persons using the building, and to facilitate their egress from the building in the event of a fire.</i></p>	Yes
<i>The Likely Impacts of the Development</i>	
<p><i>Context and Setting</i> - The development will have a minimal impact on the scenic qualities and features of the landscape including views and vistas and is compatible with the established character of the locality. There will be minimal impact on adjacent properties in relation to overshadowing and privacy.</p>	Yes
	Yes

MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
<i>Access, Transport and Traffic</i> - The proposed development's impact in relation to access, transport and traffic is considered to be acceptable. The matters relating to parking and access have been previously addressed under Part 2 of the QDCP 2012.	
<i>Public Domain</i> - The proposed development will not adversely impact on public recreational opportunities, pedestrian links or access to public space.	Yes
<i>Utilities</i> - The site is serviced with water, sewer, electricity and telecommunication services.	Yes
<i>Heritage</i> - The proposed development will have a minimal impact in relation to heritage. The site is not heritage listed, is not adjacent to a heritage item and is not located within a Heritage Conservation Area.	Yes
<i>Other Land Resources</i> - The proposed development will not affect the future use or conservation of valuable land resources such as: productive agricultural land; mineral and extractive resources; and water supply catchments.	Yes
<i>Water</i> - The proposed development will have minimal impact on the conservation of water resources and the water cycle.	Yes
<i>Soils</i> - The proposed development will have minimal adverse impact on soil conservation. The soils are suitable for the development.	Yes
<i>Air and Microclimate</i> - The proposed development will have minimal impact on air quality and microclimatic conditions and will be conditions to prevent air pollution such as dust where required.	Yes
<i>Flora and Fauna</i> - The proposed development will have a minimal impact in relation to the maintenance of biodiversity in the area. There are no known listings of critical habitat, threatened or endangered species, populations, ecological communities or their habitats on or in close proximity to the site.	Yes
<i>Waste</i> - adequate waste facilities are available for the proposed development.	Yes
<i>Energy</i> – A BASIX Certificate is not required for this proposal.	N/A
<i>Noise and Vibration</i> - The proposed development is not likely to cause any adverse ongoing impact from noise or vibration.	Yes
<i>Natural Hazards</i> - Flood management has been addressed under the QDCP (Poplars) 2013.	Yes
<i>Technological Hazards</i> - No technological hazards are known to affect the site.	N/A
<i>Safety, Security and Crime Prevention</i> - The proposed development complies with the relevant section of the QDCP (Poplars) 2013 on crime prevention through environmental design.	Yes
<i>Social Impact in the Locality</i> - The social impacts of the proposal are anticipated to be minimal.	Yes
<i>Economic Impact in the Locality</i> - The economic impacts of the proposal are anticipated to be minimal.	Yes
	Yes

MATTERS FOR CONSIDERATION	COMPLIES (Yes/No)
<i>Site Design and Internal Design</i> - The site design and internal design of the development has been assessed under the QDCP (Poplars) 2013. The proposed design is considered to be satisfactory.	
<i>Construction</i> - The construction stage of the proposed development will have the potential to impact on adjoining properties and the environment for a short period of time. Any approval will be conditioned to ensure construction activities do not unreasonably impact on the adjoining properties and their occupants and the environment by way of noise, erosion and the like. These conditions are standard Council conditions of development consent.	Yes
<i>Cumulative Impacts</i> - Cumulative impacts relate to the small impacts of developments in an area that when considered in unison can result in detrimental impact on the natural or built environment. It is considered unlikely that the proposed development will result in adverse cumulative impact.	Yes
<i>The Suitability of the Site for the Development</i>	
<i>Does the proposal fit in the locality?</i> - The proposal is considered to be compatible with its site and general locality.	Yes
<i>Are the site attributes conducive to development?</i> – Site attributes such as configuration, size and slope, are considered to be generally conducive to the proposed development.	Yes
<i>Have any submissions been made in accordance with the Act or the Regulations?</i>	
<i>Public Submissions</i> - The application was required to be notified. No submissions were received during the notification period	Yes
<i>Submissions from Public Authorities</i> – The application was referred to NSW Police with no comment returned. In this instance Council assumed no objection. The application was also referred to NSW RMS who had no objection to the development. One of the comments from RMS related to the intersection of Tomsitt Drive and was only relevant to the subdivision works which are subject to a separate assessment and approval to the Aldi development.	Yes
<i>The Public Interest</i>	
It is considered that the public interest will not be adversely affected by the proposed development. Standard conditions will be imposed to ensure minimal impacts to surrounding properties.	Yes
<i>Government and Community Interests</i>	
It is considered that government and community interests will not be adversely affected by the proposed development.	Yes
<i>Section 7.11 and 64 Development Contributions</i>	
<i>Section 7.11 Contributions are applicable to the development.</i> <i>Section 64 Contributions are applicable to the development.</i>	Yes

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Planning and Strategy Committee of the Whole Meeting Attachment

12 JUNE 2019

ITEM 6.4 DEVELOPMENT APPLICATION 549-2018 - HEALTH SERVICES
FACILITY (MEDICAL CENTRE & PHARMACY) - 14
FERDINAND LANE, JERRABOMBERRA

ATTACHMENT 2 DA 549-2018 - ARCHITECTURAL PLANS - HEALTH SERVICES
FACILITY -14 FERDINAND LANE JERRABOMBERRA



DRAWING	TITLE
00	COVER PAGE
01	SITE ANALYSIS
02	SITE PLAN
03	GROUND FLOOR PLAN
04	ELEVATIONS SHEET 01
05	ELEVATIONS SHEET 02
06	SECTIONS SHEET

JERRABOMBERRA MEDICAL CENTRE
LOT4, DP1246134, 69 TOMPSITT DRIVE, JERRABOMBERRA

COVER PAGE
DA 00

NTS
NOVEMBER 2018

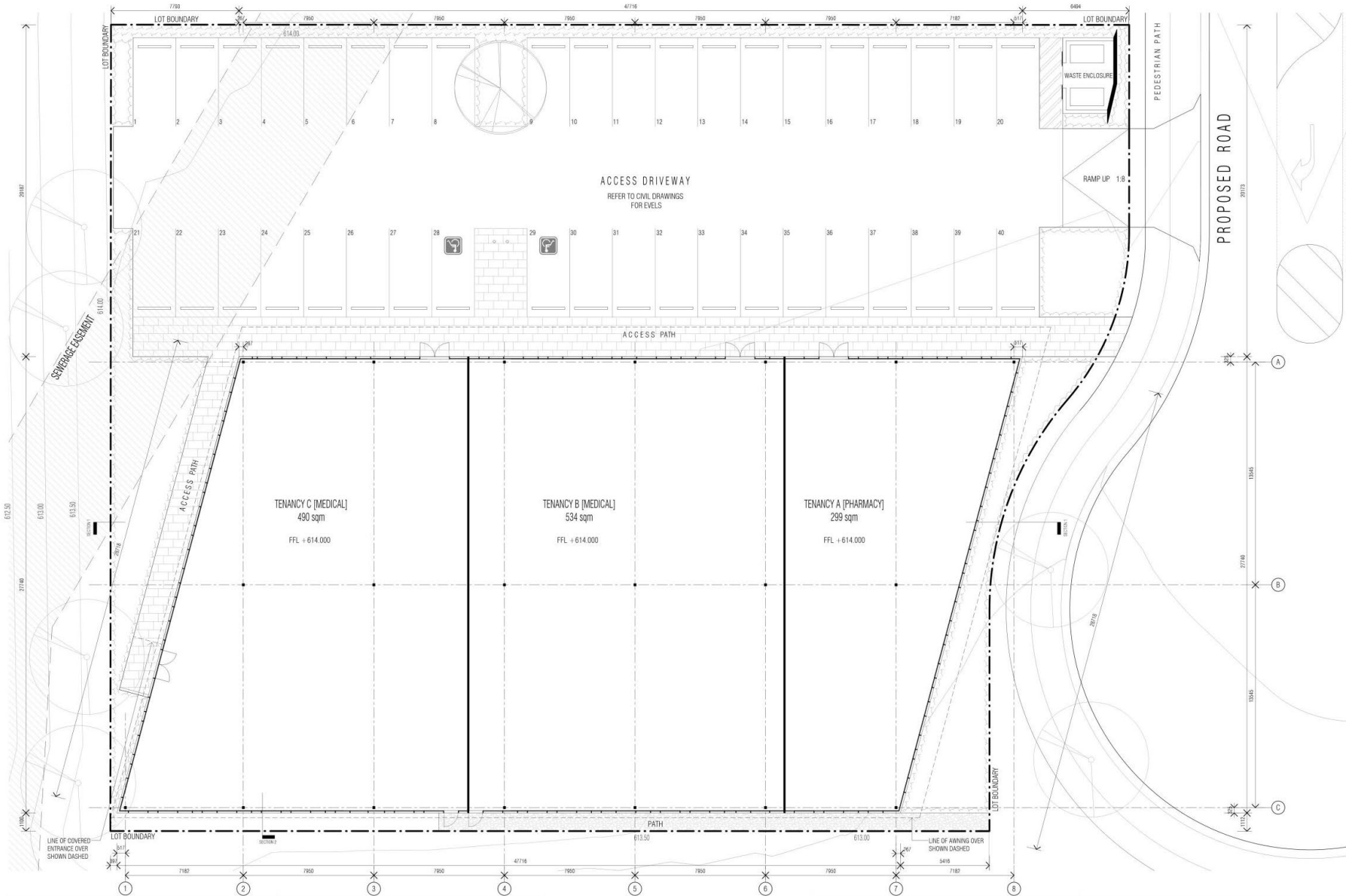
TA1830
LIVING DESIGN PROJECTS

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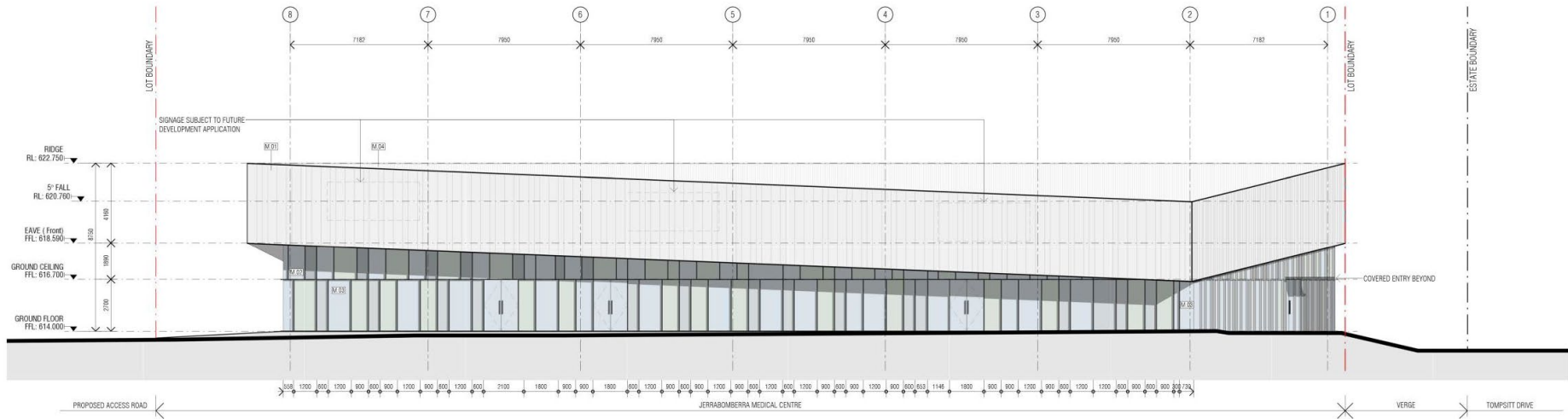


JERRABOMBERRA MEDICAL CENTRE LOT4, DP1246134, 69 TOMPSITT DRIVE, JERRABOMBERRA	SITE ANALYSIS DA 01	1:1000 @ A1 NOVEMBER 2018	TA1830 LIVING DESIGN PROJECTS	www.turcoassociates.com.au turcoandassociates
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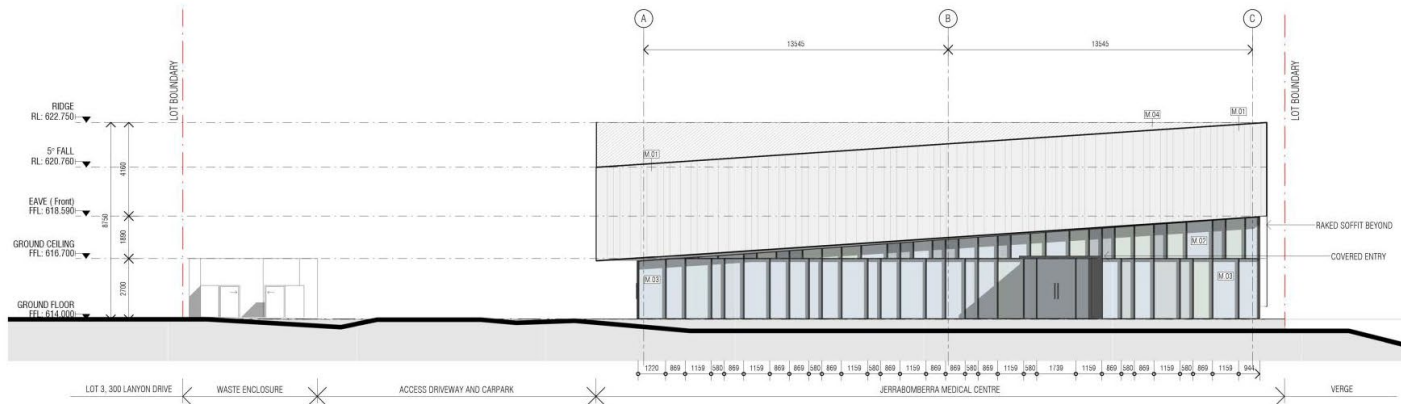


JERRABOMBERRA MEDICAL CENTRE LOT4, DP1246134, 69 TOMPSITT DRIVE, JERRABOMBERRA	GROUND FLOOR PLAN DA 03_REV1	1:100 @ A1 NOVEMBER 2018	TA1830 LIVING DESIGN PROJECTS	www.turcoassociates.com.au turco and associates
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6.4 Development Application 549-2018 - Health Services Facility (Medical Centre & Pharmacy) - 14 Ferdinand Lane, Jerrabomberra
 Attachment 2 - DA 549-2018 - Architectural Plans - Health Services Facility -14 Ferdinand Lane Jerrabomberra (Continued)

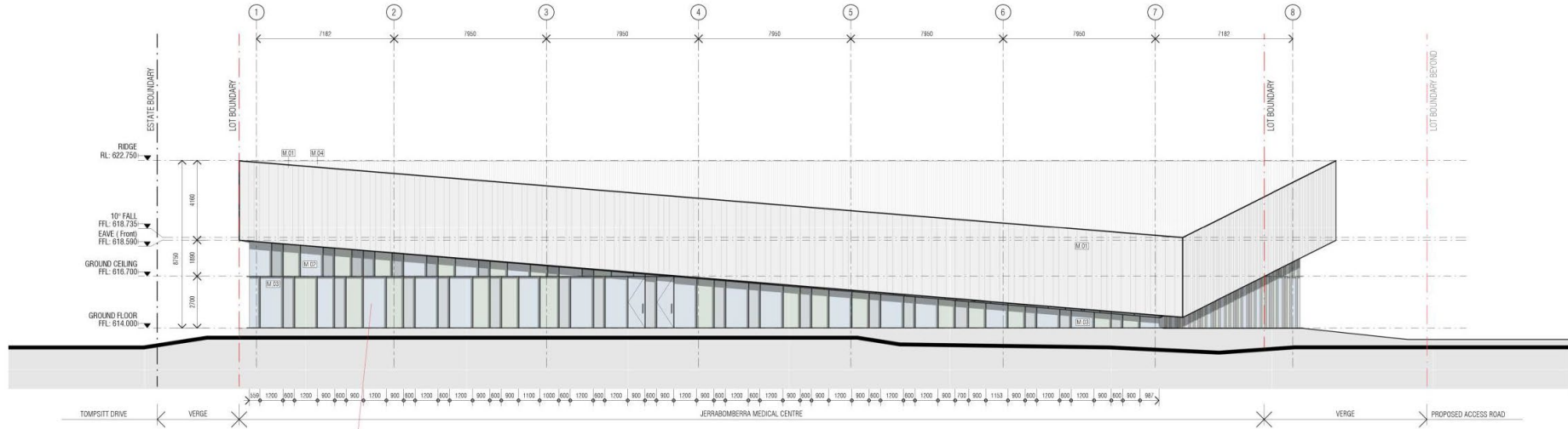


1 WEST ELEVATION (ENTRY)
 1:100 @ A1



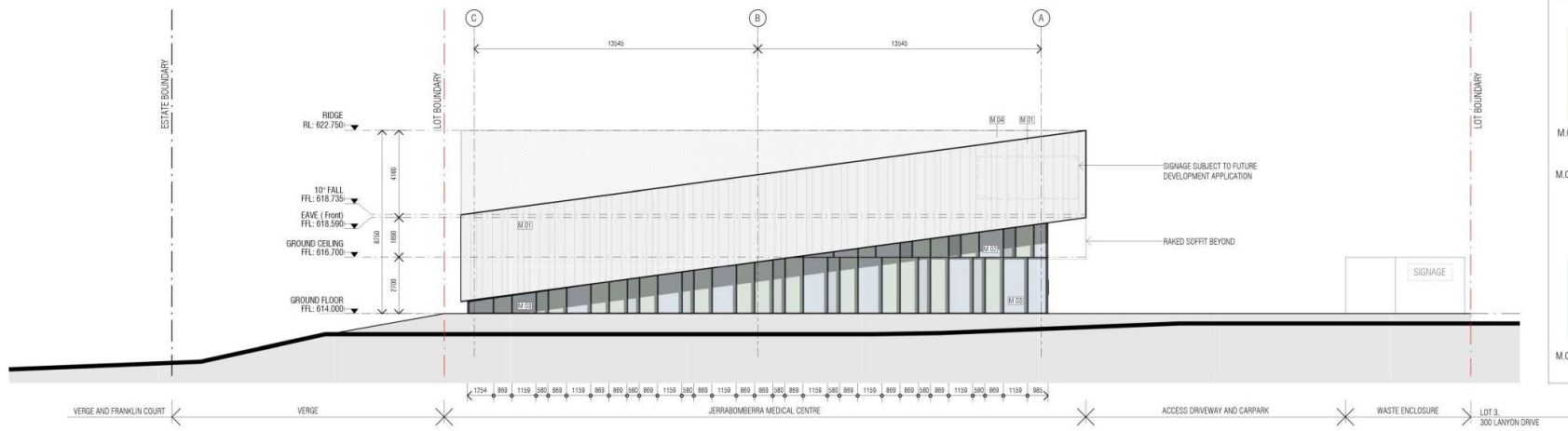
2 SOUTH ELEVATION
 1:100 @ A1

MATERIALS SCHEDULE	
M.01	LIGHT WEIGHT METAL CLADDING COLOUR: SURFMIST
M.02	BACK PAINTED GLASS IN DARK POWDERCOATED FRAMES COLOUR: TO MATCH M.03
M.03	GREY, BLUE AND GREEN CLAZING IN DARK POWDERCOATED FRAMES RANDOM LAYOUT. PACKPAINTED GLASSES AS NECESSARY SUBJECT TO TENANCY FITOUT. DOOR LOCATIONS SUBJECT TO TENANCY FITOUT.
M.04	ROOF TO MATCH M.01



1 EAST ELEVATION
 1:100 @ A1

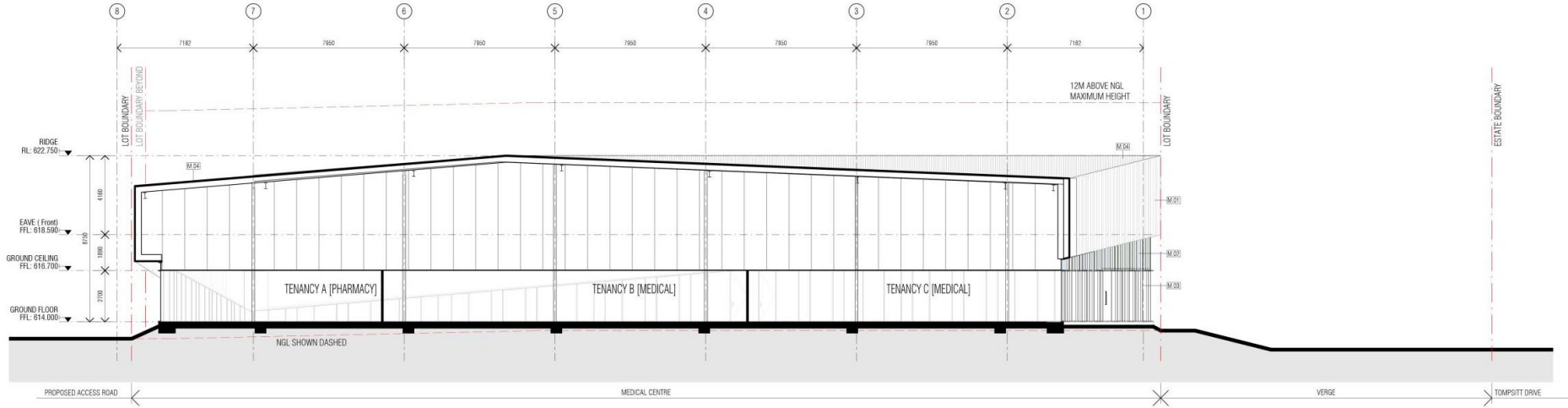
All windows on the eastern elevation facing dwellings is to be obscure glazed in its entirety.



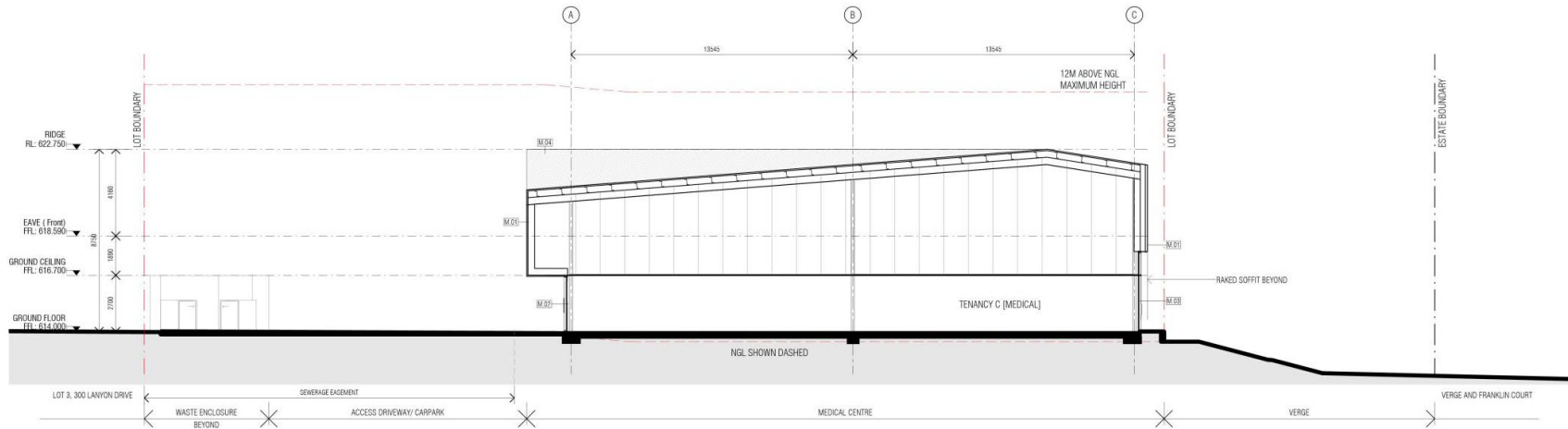
2 NORTH ELEVATION
 1:100 @ A1

MATERIALS SCHEDULE	
M.01	LIGHT WEIGHT METAL CLADDING COLOUR: SURFMIST
M.02	BACK PAINTED GLASS IN DARK POWDERCOATED FRAMES COLOUR: TO MATCH M.03
M.03	GREY, BLUE AND GREEN CLAZING IN DARK POWDERCOATED FRAMES RANDOM LAYOUT.
M.04	ROOF TO MATCH M.01

6.4 Development Application 549-2018 - Health Services Facility (Medical Centre & Pharmacy) - 14 Ferdinand Lane, Jerrabomberra
 Attachment 2 - DA 549-2018 - Architectural Plans - Health Services Facility -14 Ferdinand Lane Jerrabomberra (Continued)

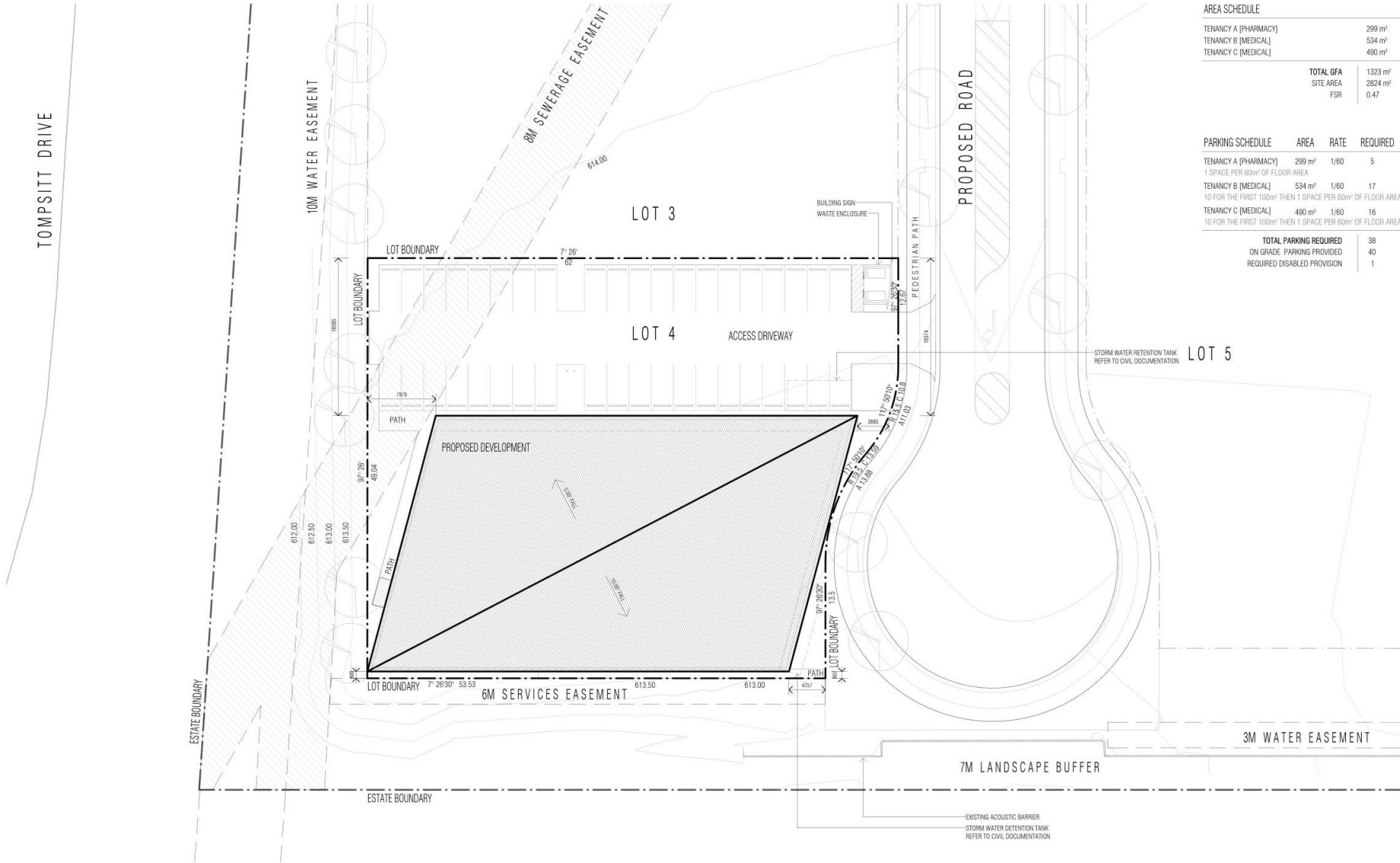


SECTION 1
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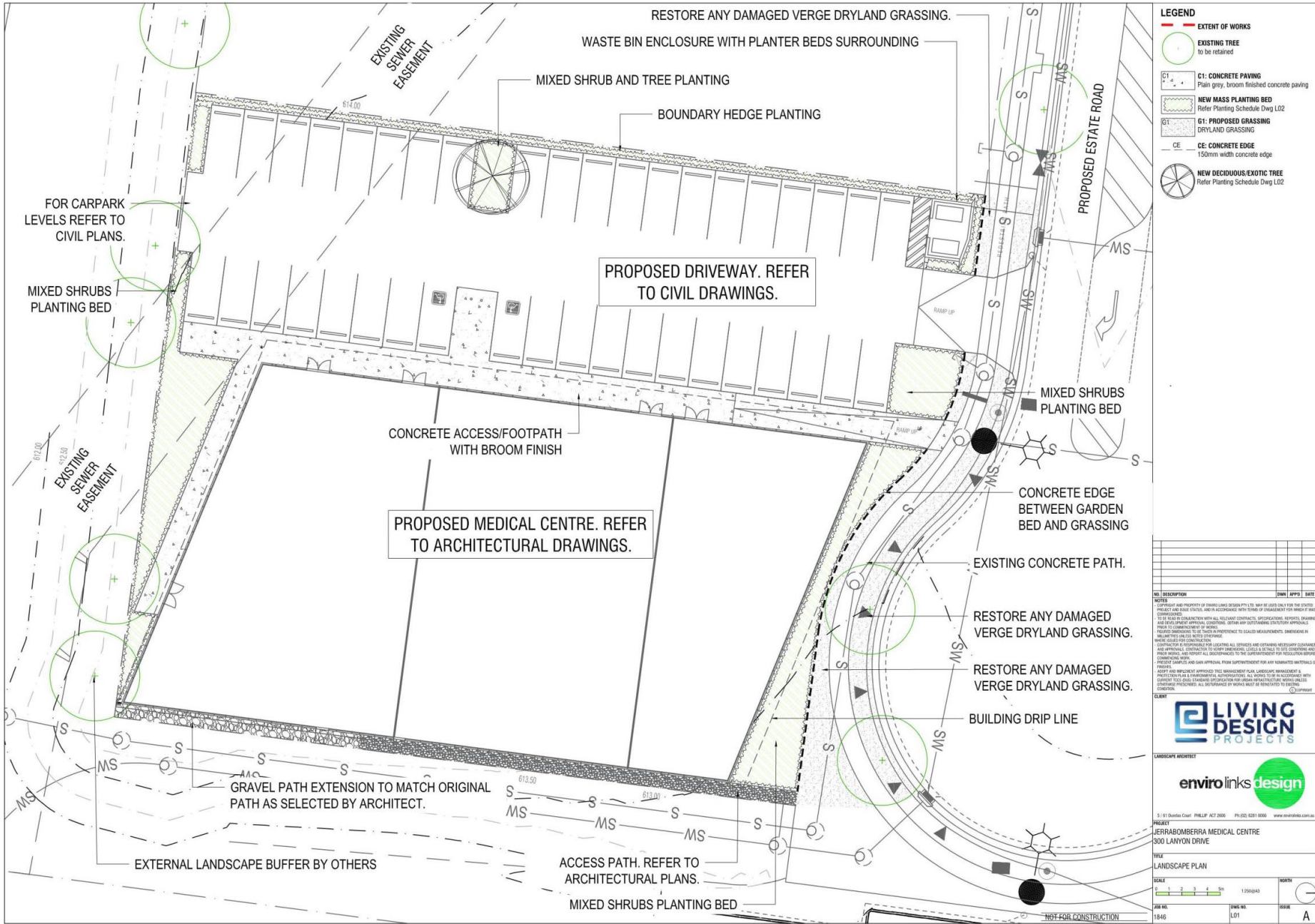
SECTION 2
 1:100 @ A1

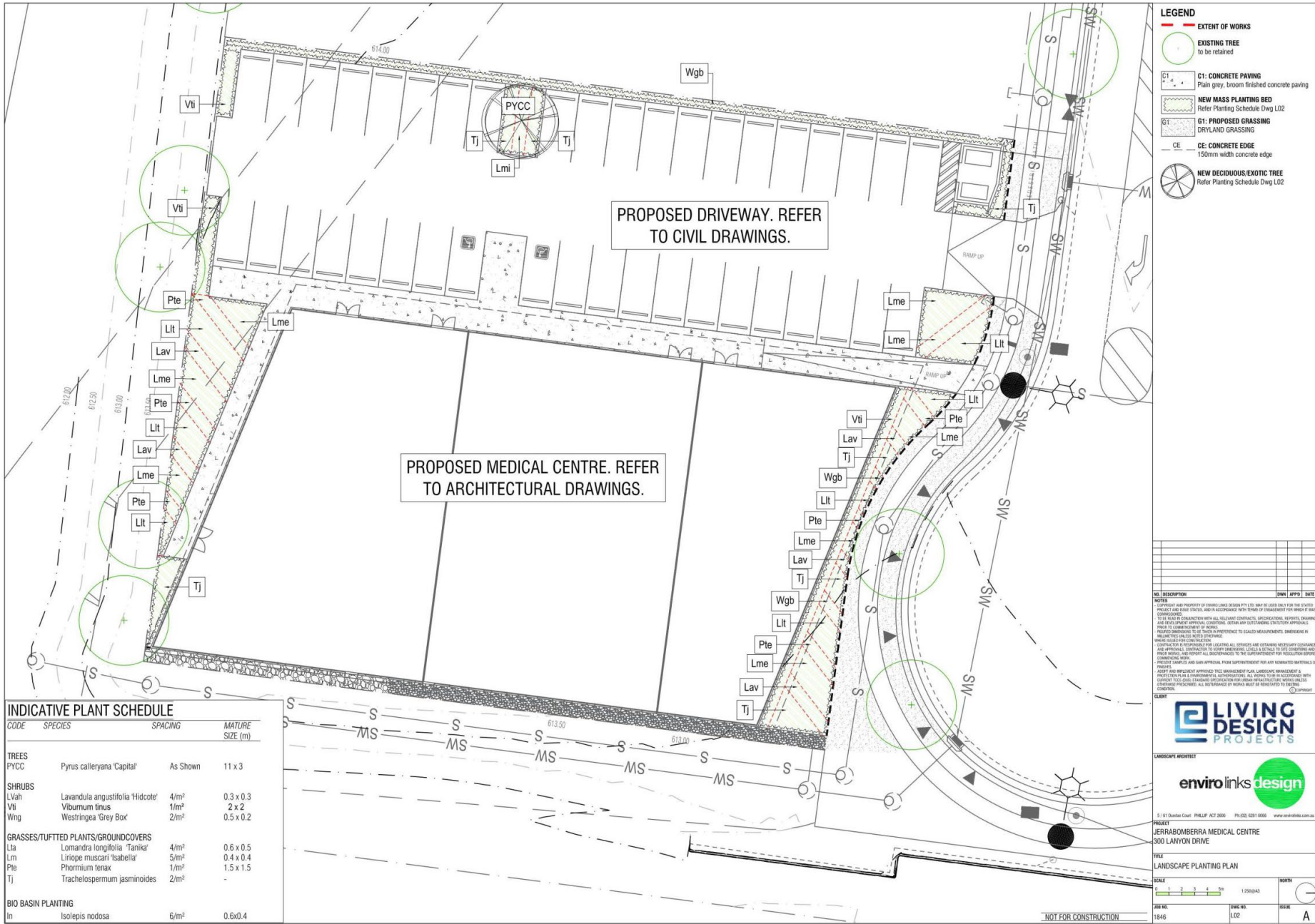
JERRABOMBERRA MEDICAL CENTRE LOT4, DP1246134, 69 TOMPSITT DRIVE, JERRABOMBERRA	SECTIONS SHEET DA 06	1:100 @ A1 NOVEMBER 2018	TA1830 LIVING DESIGN PROJECTS	www.turcoandassociates.com.au turcoandassociates
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AREA SCHEDULE	
TENANCY A (PHARMACY)	299 m ²
TENANCY B (MEDICAL)	534 m ²
TENANCY C (MEDICAL)	490 m ²
TOTAL GFA	1323 m²
SITE AREA	2824 m²
FSR	0.47

PARKING SCHEDULE			
PARKING SCHEDULE	AREA	RATE	REQUIRED
TENANCY A (PHARMACY)	299 m ²	1/60	5
1 SPACE PER 60m ² OF FLOOR AREA			
TENANCY B (MEDICAL)	534 m ²	1/60	17
10 FOR THE FIRST 100m ² THEN 1 SPACE PER 60m ² OF FLOOR AREA			
TENANCY C (MEDICAL)	490 m ²	1/60	16
10 FOR THE FIRST 100m ² THEN 1 SPACE PER 60m ² OF FLOOR AREA			
TOTAL PARKING REQUIRED			38
ON GRADE PARKING PROVIDED			40
REQUIRED DISABLED PROVISION			1





QUEANBEYAN-PALERANG REGIONAL COUNCIL

Planning and Strategy Committee of the Whole Meeting Attachment

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ITEM 6.4 DEVELOPMENT APPLICATION 549-2018 - HEALTH SERVICES
FACILITY (MEDICAL CENTRE & PHARMACY) - 14
FERDINAND LANE, JERRABOMBERRA

ATTACHMENT 3 DA 549-2018 - DRAFT CONDITIONS OF CONSENT - HEALTH
SERVICES FACILITY - 14 FERDINAND LANE

PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE (BUILDING)

1. **SUBMIT A CONSTRUCTION MANAGEMENT PLAN**
Prior to release of any Construction Certificate (Building) a Construction Management Plan for the management of soil, water, vegetation, waste, noise, vibration, dust, hazards and risk for the construction works must be submitted to, and endorsed by, Council. The plan must:
 - (a) **describe the proposed construction works and construction program and,**
 - (b) **set standards and performance criteria to be met by the construction works and,**
 - (c) **describe the procedures to be implemented to ensure that the works comply with the standards and performance criteria and,**
 - (d) **identify procedures to receive, register, report and respond to complaints and,**
 - (e) **nominate and provide contact details for the persons responsible for implementing and monitoring compliance with the plan.**

REASON: To ensure that satisfactory measures are in place to provide for environmental management of the construction works. **(56.16)**

PRIOR TO COMMENCEMENT

2. **SUBMIT A TRAFFIC MANAGEMENT PLAN**
Prior to work commencing a Traffic Management Plan for the construction works must be submitted to, and approved by, Council under the provisions of Section 138 of the *Roads Act 1993*.
3. **BUILDING CONTRIBUTIONS TO BE PAID**
Prior to the lodgement of the Notice to Commence Building Work and Appointment of a Principal Certifying Authority the contributions specified in Schedule 1 of this consent must be paid to Council under the provisions of Section 7.11 of the *Environmental Planning and Assessment Act 1979*, Section 64 of the *Local Government Act 1993* and Division 5 of Part 2 of Chapter 6 of the *Water Management Act 2000*.

REASON: To provide for the funding of augmentation and provision of services and community facilities. **(57.02)**

4. **SUBMIT NOTICE OF COMMENCEMENT OF BUILDING WORK**
A Principal Certifying Authority for the building work must be appointed and the Principal Certifying Authority must, no later than two days before the building works commences, notify Council of his or her appointment.

REASON: To satisfy the requirements of Section 81A of the Environmental Planning and Assessment Act 1979. **(57.04)**

5. **ERECT A SIGN FOR ANY DEVELOPMENT WORKS**
A sign must be erected and maintained in a prominent position on any site on which building, subdivision or demolition work is being carried out;
- (a) **Showing the name, address and telephone number of the Principal Certifying Authority for the work.**
 - (b) **Showing the name of the principal contractor (if any) for the building work and a telephone number on which that person may be contacted outside working hours.**
 - (c) **Stating that unauthorised entry to the work site is prohibited.**

REASON: To satisfy the provisions of Clause 136B and 227A of the Environmental Planning and Assessment Regulation 2000. **(57.08)**

6. **PROVIDE WORKERS TOILET FACILITIES**
Adequate toilet facilities for workers must be provided at or in the vicinity of the work site.

REASON: To provide suitable and hygienic toilet facilities for use by people visiting or working on the site. **(57.09)**

7. **CONSTRUCTION CERTIFICATE (BUILDING) TO BE ISSUED**
The erection of a building in accordance with the development consent must not be commenced until a Construction Certificate has been issued by Council or an Accredited Certifier.

REASON: To satisfy the requirements of Section 81A of the Environmental Planning and Assessment Act 1979. **(57.03)**

SITE MANAGEMENT DURING DEMOLITION AND CONSTRUCTION

8. **WORK ON ADJOINING LAND IS LIMITED**
The verge and other adjoining lands must not be used for storage of materials or disturbed by construction activities except for:

- (a) **Installation of a temporary, stabilised construction access across the verge.**
- (b) **Installation of services.**
- (c) **Construction of an approved permanent verge crossing.**

REASON: To minimise interference with the verge and its accessibility by pedestrians. **(58.05)**

9. REPAIR DAMAGED PUBLIC PROPERTY

All damage caused to public property during the establishment of the development must be repaired or reinstated prior to the issue of any Occupation Certificate.

REASON: To ensure that all public property in the vicinity of the development is maintained in its pre-development condition. **(58.06)**

10. TEMPORARY VEHICLE ACCESS

Temporary vehicle access to the site must be stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud or similar materials must be removed from the roadway by sweeping, shovelling, or a means other than washing, on a daily basis or as required. Soil washings from wheels must be collected and disposed of in a manner that does not pollute waters.

REASON: To minimise transfer of soil from the site onto the road pavement. **(58.08)**

11. PROVIDE WASTE STORAGE RECEPTACLE

A waste receptacle must be placed on the site for the storage of waste materials.

REASON: To prevent pollution of surrounding areas. **(58.02)**

12. WORKS SITES TO BE FENCED

A hoarding/fence must be erected between the development site and public places before commencement of any other work.

REASON: To ensure that an effective barrier is provided to preserve the safety of people and property in public places. **(58.07)**

13. HOURS OF OPERATION FOR WORKS

All works associated with the demolition and/or construction of this development must be carried out between the following hours:

Weekdays:	7.00am to 6.00pm
Saturdays:	8.00am to 4.00pm

**Sundays and Public
Holidays:**

NIL

REASON: To reduce the chance of offensive noise being created and to minimise the impacts of the development in its locality. **(58.04)**

GENERAL CONDITIONS

14. IN ACCORDANCE WITH THE APPROVED PLANS

The development must be carried out generally in accordance with all of the documents accompanying the development application and with the plans bearing the Council approval stamp, and any amended plans approved under subsequent modification(s) to the development consent, except where varied by notations made in red ink by Council or conditions of approval.

In the event of any inconsistency between conditions of this consent and the drawings/documents referred to above, the conditions of this consent prevail.

REASON: To ensure the development is completed in accordance with the approved plans and the development consent. **(59.02)**

15. OPERATIONAL AND TRADING HOURS

**The operational and trading hours of the premises are as follows:
8:00pm to 10:00pm (7 days a week)**

REASON: To ensure noise impacts on adjoining areas is kept to a minimum **(59.01)**

16. OBSCURE GLAZING OF EASTERN ELEVATION WINDOWS

All windows located on the eastern elevation of the building are to incorporate obscure glazing

REASON: To ensure privacy of adjoining residential uses **(59.01)**

BUILDING

17. COMPLY WITH THE BUILDING CODE OF AUSTRALIA

All building work must be carried out in accordance with the requirements of the Building Code of Australia.

REASON: This is a prescribed condition under the provisions of clause 98 of the Environmental Planning and Assessment Regulation 2000. **(60.02)**

18. **SUBMIT SURVEY PLAN SHOWING BOUNDARY SETBACKS**
The building must be set out by a Registered Surveyor in accordance with the datum shown on the approved plans. A survey plan that identifies the location of the building in relation to the allotment boundaries must be prepared upon completion of the base course brickwork and then be submitted to the Principal Certifying Authority.

REASON: To ensure building has been sited in accordance with the approved plans. **(60.08)**

FIRE SAFETY MEASURES

19. **SUBMIT FINAL FIRE SAFETY CERTIFICATE**
At the completion of works, a Final Fire Safety Certificate detailing each essential fire safety measure provided in the building must be issued by the owner and must be submitted to Council. Copies the certificate must also be given to the Fire Commissioner and be prominently displayed in the building.

REASON: To ensure compliance with the *Environmental Planning and Assessment Regulation 2000*. **(61.02)**

20. **SUBMIT ANNUAL FIRE SAFETY STATEMENT**
Each year, the owner of the building must submit to Council an Annual Fire Safety Statement for the building. The Annual Fire Safety Statement must address each Essential Fire Safety Measure in the building.

REASON: To ensure compliance with the *Environmental Planning and Assessment Regulation 2000*. **(61.03)**

SAFER BY DESIGN

21. **LIGHTING IN CAR PARKS AND PUBLIC SPACES**
Lighting throughout the car parking area, in public spaces and illuminated signage must comply with AS 2890.1:2004 – Parking Facilities – Off-Street Car Parking, AS 1158 - Lighting for Roads and Public Spaces, and AS 2482:2019 – Control of the Obtrusive Effects of Outdoor Lighting.

REASON: To ensure the provision of adequate lighting within the development. **(71.02)**

LANDSCAPING

22. LANDSCAPING WORKS COMPLETED BY AN ACCREDITED CONTRACTOR

All landscaping must be completed by a Council accredited Category 1 landscape contractor in accordance with approved landscape plan bearing the Council approval stamp.

REASON: To help ensure a high standard of landscape works. **(73.02)**

ENVIRONMENTAL

23. PLANT AND EQUIPMENT NOISE

The noise level emanating from plant and equipment installed on the premises must not exceed a level of 5dB(A) above background level when measured for a LA_{eq} 15 minute period during the day, evening or night.

Individual air-conditioning systems must be installed as far away as possible from the sleeping rooms of other residential premises or be in a well shielded location. The noise from the unit shall not exceed a level of 5dB(A) above the background level when measured at an adjacent property boundary or unit.

REASON: To reduce the noise nuisance to residents and adjacent neighbours, also to comply with the *Protection of the Environment Operations Act 1997* and Regulations. **(76.04)**

24. WASTE COLLECTION TIMES

All waste collection vehicles are restricted to collection time's onsite between the following hours:

Weekdays and Saturdays:	7.00am to 8.00pm
Sundays and Public Holidays:	8.00am to 8.00pm

REASON: To reduce offensive noise being created and to minimise the impacts of the development on neighboring properties during times of expected peace and quiet. **(76.01)**

25. INTRUSIVE LIGHTING RESTRICTIONS

All reasonable measures are to be taken to ensure that all outdoor lighting from the property does not adversely impact the neighbouring residential properties.

REASON: To prevent any adverse lighting impacts to neighbouring residential residents. **(76.01)**

26. SIGNAGE FOR WASTE STORAGE AREA

Appropriate signage must be provided in the waste storage area advising residents of the kinds of waste that can be disposed of in the bins. Graphics for this sign can be obtained from Council at no charge.

The sign must be;

- (a) Clearly visible, and**
- (b) Made of durable and weather-proof material.**

In addition, appropriate signage must be placed on the external wall/door of the waste storage area to identify it.

REASON: To provide information to residents of the building and reduce the level of contamination found in the waste bins. **(76.02)**

PRIOR TO ISSUE OF OCCUPATION CERTIFICATE

27. OBTAIN OCCUPATION CERTIFICATE BEFORE OCCUPATION

Occupation or use of whole or part of the building must not commence unless an Occupation Certificate has been issued in relation to the building or part.

REASON: To satisfy the provisions of Section 109M of the *Environmental Planning and Assessment Act 1979*. **(78.02)**

ON-GOING MANAGEMENT OF THE DEVELOPMENT

28. MAINTAIN CAR PARKING AREAS AND DRIVEWAY SEALS

All sealed car parking areas, loading bays, manoeuvring areas and driveways must be maintained in a trafficable condition.

REASON: To ensure car park areas are useable. **(79.02)**

29. VEHICLE AND GOODS STORAGE CONFINED TO THE SITE

All loading and unloading activities in connection with the development must be carried out wholly within the site and all goods

and vehicles associated with the development must be accommodated wholly within the site.

REASON: To ensure free flow of vehicular and pedestrian traffic on the road and the verge. **(79.04)**

PLUMBING AND DRAINAGE

30. PROVIDE WATER SERVICE AND WATER METER
A new main water meter and water service shall be installed by Council at no cost to the Council. The size of the meter and service shall be inclusive of firefighting requirements and shall be determined by a suitably qualified hydraulic consultant at no cost to Council.

The meter shall be installed in an easily accessible position in the common property at the front of the site, or other accessible position approved by Council.

REASON: To ensure that the development is appropriately water metered. **(80.14)**

31. PLUMBING AND DRAINAGE INSTALLATION REGULATIONS
Plumbing and drainage work must be carried out in accordance with the requirements of the *Local Government (General) Regulation 2005*, the *Plumbing and Drainage Act 2011* and Regulations under that Act and with the Plumbing Code of Australia. Such work must be carried out by a person licensed by the NSW Department of Fair Trading.

REASON: This is a mandatory condition under the provisions of the *Local Government (General) Regulation 2005*. **(80.02)**

32. INSPECTION OF PLUMBING AND DRAINAGE
Plumbing and Drainage must be inspected by Council at the relevant stages of construction in accordance with Council's inspection schedule.

REASON: To ensure compliance with the inspection requirements of *Plumbing and Drainage Regulation 2012* and Council's inspection schedule. **(80.03)**

33. FLOOR LEVEL TO BE 150mm ABOVE YARD GULLY
The floor level of areas with fixtures connected to sewer must be at least 150mm above overflow level of the yard gully and surface water must be prevented from entering the yard gully.

REASON: To ensure any sewage surcharges occur outside the building and to prevent surface water from entering the sewerage system. **(80.05)**

34. HEATED WATER NOT TO EXCEED 50 DEGREES C
All new heated water installations, must deliver hot water at the outlet of all sanitary fixtures used primarily for personal hygiene purposes at a temperature not exceeding 50° Celsius.

REASON: To prevent accidental scalding. **(80.07)**

35. INSULATE HEATED AND COLD WATER SERVICE PIPES
Heated and cold water service pipes installed in the following areas of the building must be insulated in accordance with the requirements of AS 3500: Plumbing and Drainage:
- (a) unheated roof spaces**
 - (b) locations near windows, ventilators and external doors where cold draughts are likely to occur**
 - (c) locations in contact with cold surfaces such as metal roof and external metal cladding materials.**

REASON: To prevent the water service being damaged by water freezing within the pipes due to local climatic conditions. **(80.12)**