



Ordinary Meeting of Council

27 January 2021

**UNDER SEPARATE COVER
ATTACHMENTS**

ITEM 9.1

QUEANBEYAN-PALERANG REGIONAL COUNCIL
ORDINARY MEETING OF COUNCIL

ATTACHMENTS – 27 January 2021 Page i

Item 9.1	DA.2020.1307 - Bungendore Sports Hub - Lots 1, 2 & 3 DP 1262898 - Bungendore Road, Bungendore	
	<i>Attachment 1</i>	<i>DA.2020.1307 - Sec 4.15 Assessment Report - Matters for Consideration - Bungendore Sports Hub.....2</i>
	<i>Attachment 2</i>	<i>DA.2020.1307 - Plans - Bungendore Sports Hub.....39</i>
	<i>Attachment 3</i>	<i>DA.2020.1307 - Submission - Bungendore Sports Hub61</i>
	<i>Attachment 4</i>	<i>DA.2020.1307 - Draft Conditions of Consent - Bungendore Sports Hub.....64</i>

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

27 JANUARY 2021

ITEM 9.1 DA.2020.1307 - BUNGENDORE SPORTS HUB - LOTS 1, 2 & 3
DP 1262898 - BUNGENDORE ROAD, BUNGENDORE

ATTACHMENT 1 DA.2020.1307 - SEC 4.15 ASSESSMENT REPORT - MATTERS
FOR CONSIDERATION - BUNGENDORE SPORTS HUB



DELEGATED REPORT - DA.2020.1307

SUMMARY

Proposal:	Construct recreation area, including earthworks, sportsfields/courts, amenities buildings, maintenance shed, roads, carparks, fencing and pathways (Bungendore Sports Hub)
Address:	9 Bungendore Road BUNGENDORE NSW 2621
Property description:	Lot 1 DP 1262898, Lot 2 DP 1262898 & Lot 3 DP 1262898 (Formerly Lot 2 DP 1137743)
Applicant:	Queanbeyan-Palerang Regional Council Queanbeyan-Palerang Regional Council (Formerly owned by John Patrick Darmody, Patricia Jane Darmody, Paul Gerald Darmody)
Owner:	
Date of lodgement:	08/07/2020
Notification period:	03/08/2020 to 31/08/2020
Submissions received:	1
Assessment officer:	Patrick Williams
Estimated cost of works:	\$4,900,000
Zoning:	RU1 - Primary Production
Heritage:	N/A
Flood affected:	Yes
Bushfire prone:	Yes
Recommendation of officer:	Approval

EXECUTIVE SUMMARY

The application seeks approval for a recreation area, known as the Bungendore Sports Hub, which includes the site excavation, storm water drainage, sewage and services (water, power, telecommunications), sportsfields/courts, amenities buildings, maintenance shed, roads, carparks, fencing and pathways. The relocated swimming pool from Mick Sherd Oval is NOT part of this application.

The application was advertised from 3 August 2020 to 31 August 2020, with one submission received.

The application has obtained all relevant General Terms of Approval (GTA's), or equivalent, from NSW Fisheries, Natural Resource access Regulator (NRAR) and Transport for NSW (TfNSW)(RMS).

The development is consistent with the provisions of the Palerang Local Environmental Plan 2014, Is consistent with the Palerang Development Control Plan 2015, will present no adverse impacts to surrounding lots and provides a community asset in a high demand for Bungendore. Whilst there is likely to be an odour impact from the sewage treatment plant, which will trigger complaints, it is considered the use is not of a residential nature and a use which will be minimally impacted.

For these reasons the application is recommended for approval subject to the attached conditions of consent.

BACKGROUND

The site was created via a subdivision resulting from compulsory acquisition by QPRC for the purposes of a public recreation area (Bungendore Sports Hub).

The use of the land has historically been for grazing and minor cropping with no approvals on record over the subject lot.

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot 1 DP 1262898 and is commonly known as 9 Bungendore Road, Bungendore. Ancillary works also take place on the adjoining Lots 2 and 3 DP 1262898 . The site is located on the south side of Bungendore Road and west of the Kings Highway (Molonglo Street), with Lot 1 having an area of 15.92ha.

The site is an irregular shape with minimal slope containing a dam which forms part of Mill Post Creek. The vegetation on the lot is heavily grazed grassland with a small grouping of trees towards the south-west of the lot.

There is no existing development on the site.

Vehicular access is provided to the site via a proposed road extension from Malbon Street connecting to the new Bungendore roundabout development and a construction (and emergency) access off Bungendore Road.

Existing development within the locality consists of the Bungendore sewerage treatment plant to the north, low density urban land to the east and actively grazed rural land to the south and west.



Figure 1: Locality plan with the red area roughly the area of the Bungendore sports hub area.



Figure 2: Locality with subdivision



Figure 3: Location of recreation ground, showing dam to be filled. Orientation south.



Figure 4: Location of recreation ground. Orientation East.



Figure 5: Location of the proposed new roundabout and access to the Bungendore Sports Hub.

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

The only site constraints include natural creeks (Mill Post Creek and Halfway Creek) and dams which have been considered as part of this assessment.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for a Recreation Area.

The development application is for a recreation area known as the Bungendore Sports Hub. The application is for approval of all works on the site which will be conducted in two stages depending upon the availability of funding. The specific elements of the proposal are as follows:

Stage 1

- Site excavation, storm water drainage, sewage and services (water, power, telecommunications)
- 2 hard-court netball courts.
- 2 turf pitches suitable for rugby league, rugby union or soccer.
- An amenities building serving the netball courts and first two turf pitches including:
 - Change rooms (unisex)
 - Public toilets
 - Umpire room (unisex)
 - Medical room
 - Equipment storage
 - Internal undercover meeting/socialising
 - Kiosk (internal and external access)
 - External covered space (verandas)
- Maintenance shed
- Temporary access road from Bungendore Road
- Entrance from temporary road connection
- Internal roads
- Initial lighting.
- Initial landscaping.
- Initial parking
- Internal and external pathways
- Fencing
- Temporary bus drop-off and turn-around

Stage 2

- 4 hard-court netball courts
- 4 turf pitches which can also be used as an oval
- An amenities building specifically for the netball courts
- An additional amenities building for the 4 additional turf fields
- Completion of road access from Malbon Street
- Completion of all flood lighting
- Completion of all landscaping
- Completion of parking and bus drop off area.

The relocation of the Bungendore Swimming Pool to this site is not part of this application.

An overall plan showing the works proposed in this development is shown in the diagram below.



3

Proposed Works

CONSENT AUTHORITY

In accordance with the *Environmental Planning and Assessment Act 1979* (EP&A Act) the proposal is considered to be integrated development and Council is the Consent Authority.

SECTION 4.10 DESIGNATED DEVELOPMENT – EP&A Act, 1979

The proposal is not designated development.

SECTION 4.47 INTEGRATED DEVELOPMENT – EP&A Act, 1979

The proposal is integrated development and the following approvals are required:

Fisheries Management Act 1994	Yes	Heritage Act 1977	No
Mine Subsidence Compensation Act 1961	No	National Parks & Wildlife Act 1974	No
Protection of the Environment Operations Act 1997	No	Roads Act 1993* (Non-integrated)	Yes
Rural Fires Act 1997	No	Water Management Act 2000	Yes

Department of Primary Industries (Fisheries)-

The development triggers s219 of the Fisheries Management Act 1994, requiring integrated referral to Fisheries for comment. Advice was provided 31/08/2020 requiring a number of matters for clarification and redesign.

Council obtained further information detailing the design of Mill Post Creek in accordance with the requirements from NSW fisheries, including a more detailed ecological assessment. This information was reviewed with NSW Fisheries, who later provided General Terms of Approval (GTAs) on the 2nd December 2020, subject to conditions included in the proposed conditions of consent.

Transport for NSW (TfNSW)(formerly RMS)-

The development triggers s138(e) of the Roads Act 1993, requiring integrated referral to TfNSW for their comment. TfNSW determined that the application is not 'Integrated' given the existing road connection and therefore determination of access arrangements is a matter for Council. However, they provided comment in a non-integrated capacity.

Advice was provided on 17 August 2020 requesting further information for the assessment of impacts on the Kings Highway and proposed roundabout project. Council's Urban Landscapes and Project Engineering Teams worked to provide additional information to satisfy the TfNSW information request.

This information was later subject to a meeting on 16 December 2020, which discussed the two projects (being the Bungendore Sports Hub and the Kings Highway Roundabout) in detail.

The meeting concluded with TfNSW stating they will not hold up the Bungendore Sports Hub based on two points:

- TfNSW continue to actively work with QPRC on the Bungendore roundabout.
- That QPRC have a secondary access point for the development from Bungendore Road.

The Project Engineering Team will continue to work with TfNSW to finalise the design and supporting data for the Kings Highway roundabout. In relation to the secondary access, during construction the site will be accessed off Bungendore Road near the Sewage Treatment Plant via an existing crossover. This unsealed temporary road will be maintained at the completion of Stage 1 & 2 as a secondary access to meet with TfNSW request.

While Staff consider that the Malbon Street roundabout provides the best outcome it is considered that the request for a secondary access can be accommodated, with minimal impact for the following reasons:

- The majority of traffic visiting the Hub will already be located in Bungendore or visiting from areas such as Queanbeyan, Goulburn, Braidwood, Batemans Bay, etc., all which will utilise the Kings Highway. Whilst there will be the occasional sporting team from Yass, Boorowa, Young, this is considered minor impact.
- Although there was some concern expressed that traffic from the Hub may impact on peak loads at the roundabout it is considered that significant use of the Hub is unlikely to coincide with peak usage of the roundabout. Examples include peak holiday periods when sporting events are generally not played (or there is a bye) or on Friday and Sunday evenings when the Hub is unlikely to be in significant use. As such the secondary access is unlikely to be in high demand.

For these reasons Council will maintain the construction access as a 'back up' option, and monitor events as the Hub operates.

Any proposed secondary access may impact land designated for any possible future extension of the sewage treatment plant. The need for the secondary access can be reassessed at that time.

Given all of the above Council considers that the matters raised by TfNSW have been satisfactorily addressed.

Natural Resource Access Regulator (NRAR)

The development triggers s91 of the Water Management Act 2000, requiring integrated referral to NRAR for a controlled activity approval assessment. Correspondence was received on 17/08/2020 providing the following,

"for the purposes of the Water Management Act 2000 (WM Act)- Regulation s41 - Works undertaken by public authorities, the proposed works are exempt from the need to obtain a controlled activity approval and no further assessment by this agency is necessary."

Given the exemption, the development satisfies this referral body.

REFERRALS

INTERNAL REFERRALS

Engineering Comments

Council's Development Engineer has commented on the proposal as follows:

Water

The development site is outside of the existing Bungendore pressure zone and has potable water connectivity noting the following local water mains encompassing the site that draw from the 150mmØ PVC trunk water main from the Bungendore Reservoir;

- Local Main 150mmØ PVC (Bungendore Road – North),
- Local Main 150mmØ AC (Molonglo Street – West at intersection with Malbon Street).

The locations can be identified by the IntraMaps Utility mapping. The preferable extension of a new potable water main for the BSH amenities is to continue from the 150mmØ AC main in Molonglo Street and Malbon Street intersection west within the Malbon Street road reserve and continuation within Lot 2 DP 1262898.

Section 4.15 of Statement of Environment Effects as prepared by Oxigen Pty Ltd dated 29 May 2020 mentions the drinkable water distribution infrastructure is to reticulate in-ground within the new sports hub access. This new line is to extend the design of the irrigation system from the existing infrastructure at the intersection of Molonglo and Malbon Streets. In addition, there is a proposal for connection to a new recycled water main installed as separate infrastructure. The design of the new irrigation system will be coordinated with Council representatives overseeing the design of the new recycled water treatment plant and distribution system.

The size of the proposed water main, connecting water service required for the amenities building and recycled water system for playing field irrigation is to be calculated by a specialist hydraulic consultant specifying the required service size suitable for functionality.

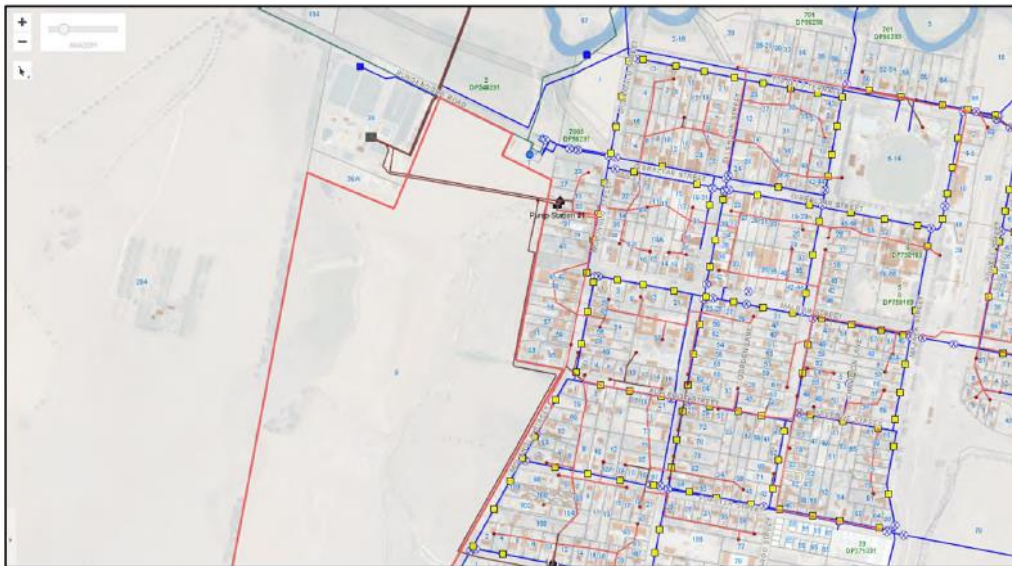
Sewer

The development site is not currently serviced by any connection to the Bungendore sewer network. Currently there are two rising mains within easements conveying raw sewerage to the Bungendore Sewer Treatment Plant located at 39 Bungendore Road. These rising mains are a 200mmØ DICL and 150mmØ AC in size. There is also a connecting 150mmØ DICL rising main servicing south Bungendore connecting to the 200mmØ DICL.

The locations can be identified by the IntraMaps Utility mapping.

A new pumped sewer main is proposed to service the BSH, discharging to existing sewer infrastructure with a new connection at the existing sewer manhole C/2 located adjacent to the south-west corner of the intersection of Molonglo and Malbon Street intersection.

In accordance with Water Services Association Australia Sewerage Pumping Station Code WSA 04-2005 all new rising mains up to and including 100mmØ shall be uPVC material pipe.



Existing Utilities Plan – 9 Bungendore Road, Bungendore

Storm Water

The proposed development of the site is likely to increase runoff, thus a stormwater management plan demonstrating the proposed development can maintain pre-development runoff flow for both 20% and 1% storm events is required in accordance with Council's D5 Stormwater Drainage Design specification, and provision for onsite stormwater detention (OSD) and water quality in accordance with Council's D7 Erosion Control and Stormwater Management Design specification and corresponding computer modelling.

Erosion and Sediment Control

An Erosion and Sediment Control Plan (ESCP) will be required for any works causing surface cover disturbance. An ESCP will be required to be submitted with the construction certificate. A Soil and Water Management Plan (SWMP) will be required to be implemented by the property owner for any works causing surface cover disturbance. This requirement applies for both stages of development.

Traffic and Parking

The site shall meet the requirements of *AS/NZS 2890.1-2004 Parking Facilities Off-Street Car Parking*, *AS/NZS 2890.6-2009 Off-Street Parking for People with Disabilities*, and *Palerang DCP 2015 Section B7.1*. All parking spaces must meet the functionality of the Australian Standard as a minimum.

Referring to Section 4.6 of the Statement of Environment Effects as prepared by Oxigen Pty Ltd dated 29 May 2020 and Traffic and Parking Assessment as prepared by TTW on 6 December 2019 the parking requirements for the BSH have been assessed based provisions of similar facilities within the QPRC Local

Government Area and the ACT. The Traffic and Parking Assessment Based states that upon completion of the BSH development, 192 car spaces would be required based on the following parking provisions;

- Netball - 12 car spaces per court,
- Tennis - 5 car spaces per court,
- Soccer - 20 car spaces per field, and
- Rugby League/Union - car spaces 30 per field.

Subsequently, the proposed BSH development provides a total of 195 car parking spaces with a provision for an additional 80 vehicles in an overflow parking area located north of the proposed netball courts.

Parking for up to five (5) coaches is provided at the southern end of the car park, and internal roadways have been designed to cater for the movement of 12.5m coaches into and out of the BSH site.

There are four (4) disabled car parking spaces provided throughout BSH car parks located adjacent to amenities and fields.

Entrance and Access

In accordance with the *Palerang DCP 2015 Section B7.1 Parking*, specifically the access to the various BSH car parks must demonstrate two way or separate access and egress allowing all vehicles to enter and leave in a forward direction.

The internal roads, temporary accesses and proposed continuation of Malbon Street road reserve connecting with Lot 2 DP 1262898 over Halfway Creek appears to have been designed based on passenger vehicle manoeuvrability and car park functionality for B99 vehicle.

Referring to Section 4.4 of the Statement of Environment Effects as prepared by Oxigen Pty Ltd dated 29 May 2020 and Traffic and Parking Assessment as prepared by TTW on 6 December 2019 indicates an anticipated average peak weekend volume of 120 vehicles per hour (239.34 AADT), with a maximum peak volume generated by the BSH to be 240 vehicles per hour (478.68 AADT) when all the fields are occupied and consecutive games are played on all fields and courts.

The proposal includes a temporary access that encompassed the Bungendore Sewerage Treatment Works to Bungendore Road. Bungendore Road currently has a 100km/h speed limit and a peak weekend traffic volume of 250 vehicles per hour in each direction.

In addition to this, Council is currently commencing intersection upgrade works at Molonglo and Malbon Streets with the construction of a roundabout to promote traffic flow continuity on the Kings Highway, into the Bungendore CBD and to north Bungendore. To date utility services have been relocated adjacent to the intersection.

Council Development Engineers support the roundabout access option connecting to the BSH facility from Malbon Street with a new road within Lot 2 DP 1262898 including a major culvert or bridging structure over Halfway Creek as the logical and safe connection back to the Bungendore Town Centre. The use of the temporary construction access via Bungendore Road will be suitable for construction activities and is likely to be maintained as a 'back up' option to the facility if required (further treatment and possible speed zone relocation would be required if made permanent).



Temporary BSH Access sight-distance looking west on Bungendore Road



Temporary BSH Access sight-distance looking east on Bungendore Road



BSH Access – Molonglo and Malbon Street Intersection (roundabout)

Flooding

The BSH development are within the Flood Planning Area. The 1% AEP flood level at the southern extremities of the BSH playing fields is RL692.15mAHD, and the 1% AEP flood level at the northern extremities of the BSH courts is RL691.50mAHD.

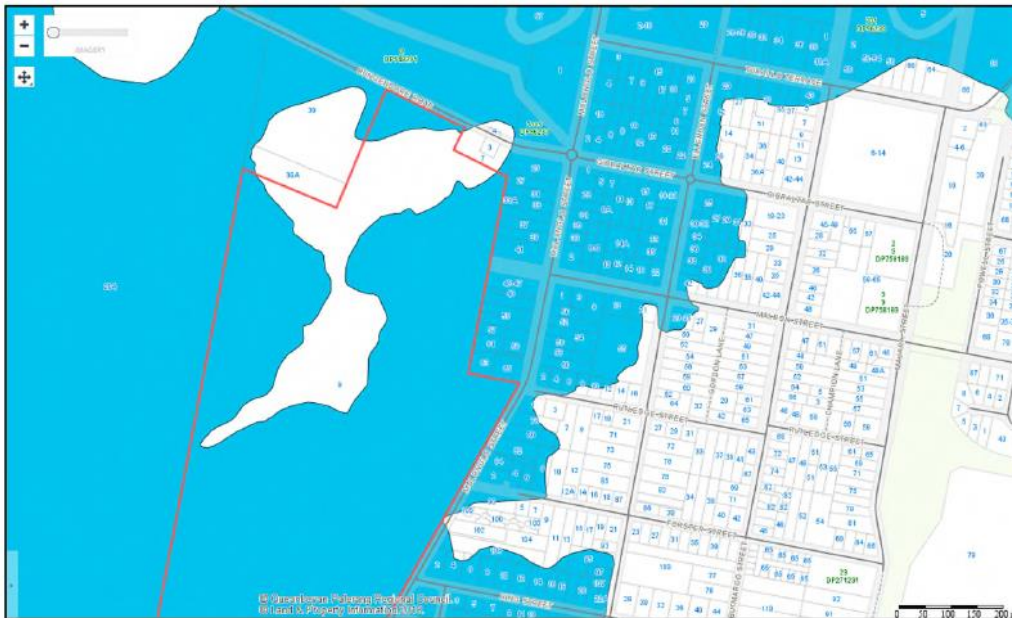
The submitted Statement of Environment Effects as prepared by Oxigen Pty Ltd dated 29 May 2020 and Flood Impact Assessment as prepared by TTW dated 20 November 2019 states the part diversion of Mill Post Creek and dam filling/channel widening in addition to forming a flood mitigation bund around the sports field will have minimal impact on flood levels affecting neighbouring properties. The amenities block floor level is RL691.85mAHD which appears to be approximately 250mm above the corresponding 1% AEP flood level.



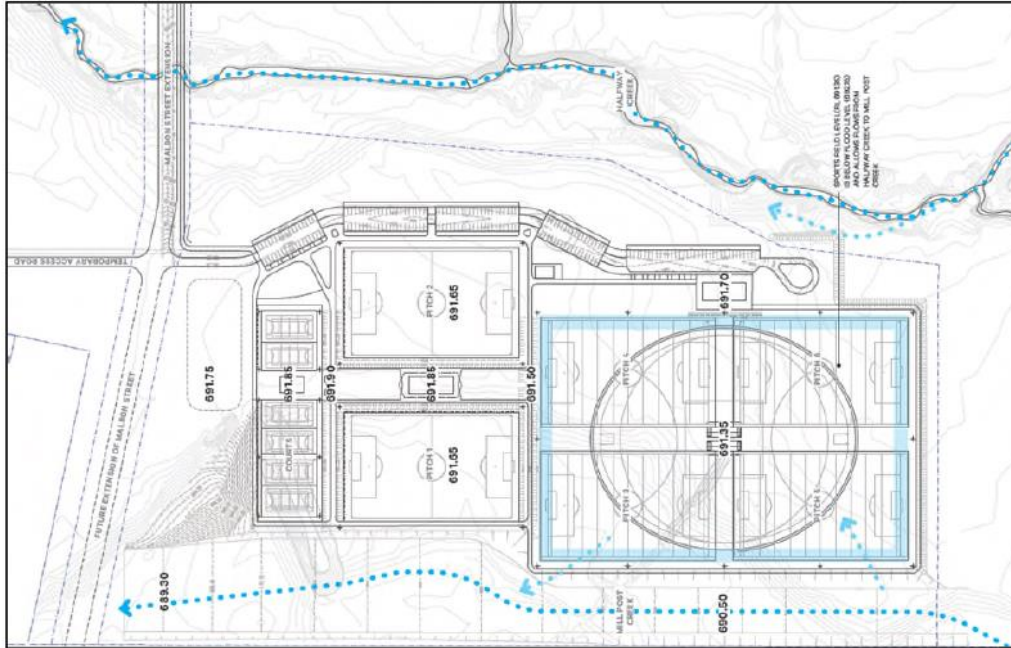
Natural Water Courses and Dam – 9 Bungendore Road, Bungendore



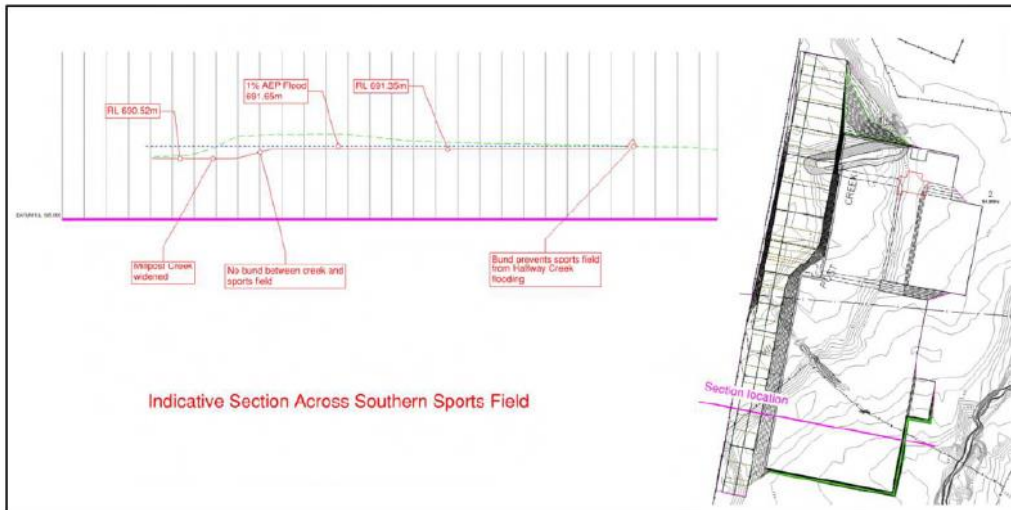
1% AEP Flood Area – 9 Bungendore Road, Bungendore



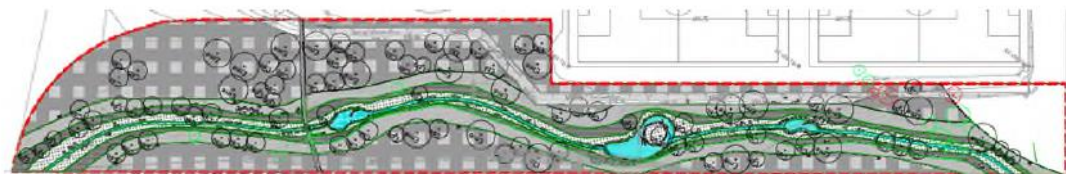
Flood Planning Area (1% AEP +500mm freeboard) – 9 Bungendore Road, Bungendore



Halfway Creek, Mill Post Creek Diversion & Detention Basin – 9 Bungendore Road, Bungendore



Channel Widening and Flood Mitigation Bund – 9 Bungendore Road, Bungendore



Mill Post Creek Redesign- 9 Bungendore Road, Bungendore

The Flood Impact Assessment as prepared by TTW dated 20 November 2019 provides the following advice and summary;

- *The flood results confirm that there is no significant impact to the adjacent property to the west of the development site, with typically less than 15mm increase in flood levels. There is localised increase of up to 60mm near the south west boundary, but also reductions in flood levels of up to 130mm on the adjacent land. Overall there is no significant net increase in flood levels on the western adjacent property.*
- *Overall, the proposed development is predicted to have no significant impact on the existing flood behaviour, with only minor localised changes during the 1% AEP flood.*

The Civil and Stormwater Management Plan as prepared by TTW dated 10 December 2019 provides the following relevant advice and summary;

- *Car park pavements are drained to landscape areas to filter stormwater runoff before discharging it to the adjacent water courses.*
- *Rainwater collected from the roof areas of proposed buildings is intended to be utilised for irrigation. However, due to the area of turf requiring irrigation, potable water or other approved alternate water sources will be required in addition to any rainwater captured from roof areas.*
- *The southern sports fields have been designed to take on water during flood events to assist in maintaining downstream flood conditions to their current levels.*

Health Comments

Council's Health Officer has commented on the proposal as follows:

The Environmental Health team

Food

At least one kiosk will be provided on site. No appropriate plans have been provided regarding the fit-out of this facility. EH can look over these plans once provided to ensure they meet the requirements under the *Food Act 2003* and Food Standards Code. Any mechanical ventilation will also be required to meet the Australian Standard and be appropriate for use. Appropriate hand wash facilities should be provided for staff working within the kiosk that meet the requirements under the *Food Act 2003* and Food Standards Code. If amenity pavilions are all to be provided with a kiosk, each must meet the above requirements.

Noise

The Statement of Environmental Effects (SEE) states under section 4.17 (acoustics) "the following measures are proposed:

- Limiting the times in which the facilities can be used.
- Limiting any music to background levels only.
- Requiring an event notification and complaint management process to be implemented.

Generally, the Bungendore Sports Hub has been designed to minimise negative acoustic impacts and avoid unreasonable interference on amenity".

There is no acoustic report submitted as part of this application nor information to support this statement.

The development is more than 300 metres from the nearest residential receivers, so noise impacts are likely to be minimal. Noise from the development is also likely to be restricted to the daytime and early evening hours. The greatest source of offensive noise during the night-time hours would be noise from plant. This has been addressed through a standard condition.

Noise from activities can be managed through a noise management plan that addresses the measures outline in the SEE. The requirement to have a regularly updated noise management plan can be conditioned.

Odour and sewage treatment plant issues

Under the EPA document, Technical notes: assessment and management of odour from stationary sources in NSW an odour can only be judged 'offensive' by public reaction. The nuisance level can be as low as 2 odour units (OU) and as high as 10 OU for less offensive odours. An odour assessment criterion of 7 OU is likely to represent the level below which 'offensive' odours should not occur (i.e. offensive odours are likely to occur with greater than 7OU). The EPA Technical Framework recommends that, as a design assessment criterion, no individual should be exposed to ambient odour levels of greater than 7 OU (99th percentile, nose response time average).

The odour assessment provided as part of the development assessment (GHD December 2019) predicts there may be some odour issues present depending on the type of activity being conducted at the Sewage Treatment Plant (STP) with desludging causing the highest odour units. Potential significant sources of odour were determined as:

- Inlet works – receipt of all inflows; screening of inflows by mechanical screen, grit removal
- IDEA reactors – two IDEA reactors with tank capacity of 2,000 EP and 3,000 EP, sludge age of 25 days, decanter through syphon and aeration time at 12 hours per day.
- Sludge lagoons – four lagoons with estimated volume of 929 m³ for two of the lagoons and 2,150 m³ for the other two
- Sludge drying beds
- Catch pond – one catch pond with catch volume of 960 m³ for 5000 EP

As part of the GHD report, no odour sampling was undertaken at the site. Odour emission rates used in the assessment were based on measurements at other sites and therefore may not be representative of actual site odour profiles. The report also does not take into account any future changes to the STP (as mentioned in the utilities comments below).

The daily operations with the treatment facility can produce strong odours which may have an impact on the sporting participants with other areas of the facility (e.g. sludge lagoon) providing intense odour issues on a seasonal basis which may take several weeks to months to decrease associated odours.

The drying of the sludge that has been pumped out of the ponds may also present a public health risk. This sludge is pumped out from the ponds and then dried uncovered in the drying bed. The storage and drying of this sludge may also provide an increase in flies and other pests.

The distance from the sludge drying area to the proposed netball courts at the northern end of the precinct appears to be approximately 150 metres and the level of issue associated would however be dependent on the level of treatment and application of other chemicals used.

During discussion on site with the planner and co-ordinator of Utilities – Operations, there are plans to upgrade the facility to accommodate for

Within the EIS Guideline (1996) from the Department of Urban Affairs and Planning's Circular E3 — Guidelines for buffer areas around sewage treatment plants recommends buffer zones of at least 400 metres surrounding sewage treatment plants. Other states also appear to require buffer areas. For example in Victoria where aerobic ponds are used, a general buffer distance for a population of 10,000 people around a STP is 500 metres (EPA Victoria - Recommended separation Guideline distances for industrial residual air emissions 2013). Providing a buffer zone will assist in reducing nuisances caused by the STP on the users of the community and therefore it is highly recommended to provide an adequate buffer zone surrounding the STP.

If the sports hub is placed in this location, it may be a requirement to either close the facility at times when the operation of the STP will produce odour measurements greater than 7OU or when STP operational activities are being undertaken that produce an increase in the odour. This should be discussed as the development is constructed.

Lighting

From the Sports hub site it appears to be approximately 300 metres to the nearest residential area. Over this distance it would be expected that light spill to the surrounding areas should cause minimal nuisance. The consent can be conditioned to comply with Australian Standards

Recycled Water Reuse

The SEE states that "Rainwater collected from the roof areas of proposed buildings is intended to be utilised for irrigation. However, due to the area of turf requiring irrigation, potable water or other approved alternate water sources will be required in addition to any rainwater captured from roof areas". Any recycled water must be treated to the appropriate standard for which it will be used and appropriately managed as per the NSW Guidelines for Urban and Residential Use of Reclaimed Water 1993 and the Australian Guidelines for Water Recycling: Managing Health and Environmental Risk, 2006 to reduce the potential for associate public health impacts. Final approval for use of any system must be provided by Environmental Health and other appropriate approval agencies.

Utilities Comments

Council's utilities team has commented on the proposal as follows:

The Bungendore sewage treatment plant is a conventional plant in that it contains many of the process trains that a majority of NSW plants routinely operate. Of importance here are the inlet works and the sludge digestion streams. Both of these generate odours as part of their normal operation. The location of these is shown in the aerial photograph below. The presence of these odours is noticeable on site, but that is normal. They are also noticeable from time to time beyond the site, the extent of which varies depending upon prevailing winds and seasonal process changes.



Figure 3: Bungendore Sewage Treatment Plant. Red stars indicating treatment processes which generate odour naturally, noting predominant south-westerly wind directions in Bungendore.

The saving grace for this plant (as it is for the Braidwood, Captains Flat and indeed Queanbeyan plants) has been its buffer of 350-400 metres. Please do not ignore the need to maintain this quantum of buffer in the considerations for the development potential of land adjacent to the STP.

There is also the need to consider the future plans for this plant where we aim to increase its capacity to around 12,000EP. These works will see additional process trains of inlet works and sludge lagoons likely along the southern boundary. This plant is not of the like of the Gogong STP and it would be both uneconomical and impractical to attempt to retrofit any effective and reliable odour control measures.

If Council choose to endorse this application, it is with firm belief that we risk almost certain and ongoing complaints and derision. Please ensure this is considered.

Building Comments

Council's building Officer has no objection to the proposal, subject to the attached conditions of consent.

Waste Officer Comments

Council's building Officer has no objection to the proposal, subject to the attached conditions of consent for a waste management plan and litter management plan.

EXTERNAL REFERRALS

Essential Energy

The application was referred to Essential Energy as it triggered concurrent comment under s45 of the SEPP(infrastructure). Correspondence was received on 27/08/2020 requesting further detail on relocation and easements of powerline infrastructure. Further details were provided for the electrical design to which have been given to contract Surveyors to finalise easements.

Its considered that the current process to formalise easements with Essential Energy separate to this application (under the acquisition) will ensure an appropriate design in accordance with s45 of SEPP(Infrastructure).

NSW Police- Crime Prevention Officer

The application was referred to the NSW Police crime prevention officer for comment. The crime prevention officer provided comment on 14/08/2020 providing support to the development providing recommendations as follows:

- Endorse the use of CCTV cameras. Suggestions to add further cameras on the maintenance building and carpark to mitigate break and enters.
- Consideration to the use of graffiti resistant paint or materials
- Consideration for a back to base alarm with sensors internally.
- Development of a maintenance plan, incorporating a graffiti management plan.
- Special attention to landscape design to avoid concealment or entrapment areas.

CONSIDERATION OF THREATENED SPECIES

Council is required under Section 4.15 of the Environmental Planning and Assessment Act 1979 to make an assessment of whether the proposed development will have a significant impact on any threatened species, populations, or ecological communities, or their habitats. Such threatened species in NSW may be protected under the NSW Biodiversity Conservation Act 2016 or under the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act). The assessment process under the EPBC Act can occur outside the NSW planning system and requires input from the Federal Department of Environment. Any EPBC Act requirements associated with this proposal are discussed later in this section.

Section 7.3 of the Biodiversity Conservation Act 2016 sets out what must be considered in determining whether a proposed development will have a significant impact. Section 7.3 requires the consideration of the following:

- any assessment guidelines applicable to the species, population, or ecological communities, or their habitats, and
- the application of the 'seven-part test' described in the Section.

The site is predicted to contain modified land under Council's predictive native vegetation mapping.

An inspection of the site noted that it was heavily modified active grazing land with scattered pine trees.

As part of the supporting package, an Environmental Impact Statement (EIS) was supplied by Capital Ecology reviewing the legislative requirements and impacts of the proposed development. Details as follows;

The proposed development will result in the removal of approximately 10.43 ha hectares of pasture dominated by perennial exotic grasses and herbaceous weeds (including 3 minor pine trees). In addition to this area, a small patch of Tall Sedge is located in the south-west corner of the subject land (PCT1110 Zone 3) which meets the definition of BC Act 'native vegetation' and occurs in the area identified on the NSW BVM. Any clearance of this vegetation would trigger the BOS and require the preparation of a BDAR. However, this area is avoided and incorporated into the new creek realignment. In addition to this, the creek redesign, the landscaping will increase species such as Tall Sedge and return the creek to its natural state whilst be an effective stormwater management asset.

The subject land:

- does not contain vegetation which may constitute a listed threatened ecological community;
- does not support any listed threatened flora species;
- supports vegetation which is likely to be of limited habitat value for native fauna and is highly unlikely to be of importance to any listed threatened and/or migratory fauna species;
- The development resulting in a more biodiversity positive outcome whilst being practical and cost effective.

Possible additional mitigation measures

As mentioned, the subject land is heavily grazed and does not support significant biodiversity values, therefore the proposed development does not have the potential to result in any significant impacts. Notwithstanding this, the following measures are proposed to be implemented to avoid, minimise, and mitigate impacts on the ecological values of the subject land and locality;

- Weed Management
 - o Active weed management to combat African Boxthorn and Serrated Tussock will be undertaken, as well as physical removal in the subject area during the construction.
- Further landscaping
 - o Local native species will be used for landscaping to the fullest extent practicable. Especially in the Mill Post Creek realignment, a mix of grass, shrub and woodland that would naturally occur along the ecotone are proposed. Resulting in a more positive biodiversity outcome.
- Water management and aquatic habitat
 - o The proposed development involves the removal of the dam, realignment of Mill Post Creek, and a crossing over Halfway Creek. The design of the creek realignment mimics an intact, good condition stream in both width, depth, and habitat values. The new riparian zone will assist with filtration and run off from the sporting fields, with grass swales leading into the creek. This treatment heavily supports the control of run off field fertiliser and herbicides, while effectively managing stormwater.

The proposed development is unlikely to significantly affect any EPBC Act and/or BC Act listed threatened flora or fauna species or ecological community. In turn, the application is consistent with NSW Biodiversity Conservation Act 2016 and the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act).

SECTION 4.14 CONSULTATION AND DEVELOPMENT CONSENT – CERTAIN BUSHFIRE PRONE LAND – EP&A ACT, 1979

Section 4.14 of the EP&A Act requires an assessment to be made of the proposal against the requirements of the Rural Fire Service document 'Planning for Bushfire Protection 2006'. The Act allows this assessment to be made by the Council or the RFS. Assessments under Section 4.14 against the PBP 2006 need to be made for most development on bushfire prone land which does not require an approval under the Rural Fires Act 1997 as integrated development.

Bushfire prone land on the subject site covers 100% of the site. However, the proposed use does not trigger the requirements under s100b of the Rural Fires Act and is not applicable.

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY NO. 55 - REMEDIATION OF LAND

The land has primarily been used for grazing purposes over many years and is not known to have had any contaminating activities that are triggered under this SEPP for the proposed use.

STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007

The development contains more than 50 carparks and directly connects to a classified road, Kings Highway, triggering referral to the RMS. See the above integrated referral* for comments which satisfy this clause.

PALERANG LOCAL ENVIRONMENTAL PLAN (PLEP) 2014

An assessment of the proposal against the general aims of PLEP 2014 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	<i>to protect and improve the economic, environmental, social and cultural resources and prospects of the Palerang community,</i>	Yes
(b)	<i>to encourage development that supports the long-term economic sustainability of the local community, by ensuring that development does not unreasonably increase the demand for public services or public facilities,</i>	Yes
(c)	<i>to retain, protect and encourage sustainable primary industry and commerce,</i>	N/A
(d)	<i>to ensure the orderly, innovative and appropriate use of resources in Palerang through the effective application of the principles of ecologically sustainable development,</i>	Yes
(e)	<i>to retain and protect wetlands, watercourses and water quality and enhance biodiversity and habitat corridors by encouraging the linking of fragmented core habitat areas within Palerang,</i>	Yes
(f)	<i>to identify, protect and provide areas used for community health and recreational activities,</i>	Yes
(g)	<i>to ensure that innovative environmental design is encouraged in residential development.</i>	N/A

Comments: The proposed development will improve and protect the economic, social and cultural resources of the Bungendore area whilst maintaining a strong focus on the environmental resources of the site. The development supports the long-term economic sustainability of Bungendore whilst addressing the high demand for sporting facilities in the area.

The development is appropriately designed and utilises innovative principles that support ecological sustainable development where practical. The existing creeks and wetland areas are maintained, and in this case improved, to ensure water quality biodiversity is protected and positively impacted.

Permissibility

The subject site is Zoned RU1 Primary Production zone under Palerang Local Environmental Plan 2014.

Development for the purposes of a *Recreation Area* such as is proposed is permissible within the zone with consent and is defined under PLEP 2014 as follows:

“recreation area means a place used for outdoor recreation that is normally open to the public, and includes—

- (a) a children’s playground, or*
- (b) an area used for community sporting activities, or*
- (c) a public park, reserve or garden or the like,*

and any ancillary buildings but does not include a recreation facility (indoor), recreation facility (major) or recreation facility (outdoor). “

Zone Objectives

An assessment of the proposal against the objectives of the RU1 Primary Production zone is included below:

Objectives	Complies
➤ To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.	NA
➤ To encourage diversity in primary industry enterprises and systems appropriate for the area.	NA
➤ To minimise the fragmentation and alienation of resource lands.	Yes
➤ To minimise conflict between land uses within this zone and land uses within adjoining zones.	Yes
➤ To minimise the impact of any development on the natural environment.	Yes
➤ To ensure that development does not unreasonably increase the demand for public services or facilities.	Yes

Comments: The proposed sporting hub is located to ensure minimal conflict with surrounding zones and uses. It has been designed to ensure minimal and positive impacts to the natural environment and does not unreasonably increase the demand for public services or facilities.

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the PLEP 2014 is provided below.

Height of building

<i>Cl.</i>	<i>Standard</i>	<i>Controls</i>	<i>Proposed</i>	<i>Complies</i>
4.3	Height of building	10m	4.5m	Yes

Comments: Complies

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the PLEP 2014 are addressed below as part of this assessment:

6.1 Earthworks

Clause 6.1 of the PLEP 2014 establishes a number of matters requiring consideration for development involving earthworks. The development contains substantial earth works to level the site for its sporting use. Located within the conditions of consent is the requirement for an erosion and sediment control plan with a construction management plan. These documents will ensure appropriate measures are in place to minimise any impacts to the existing creeks and neighbouring lots.

6.2 Flood planning

Clause 6.2 of the PLEP 2014 makes provision for developments within the flood planning area. The development is located within the flood planning area of Palerang. The application was submitted with a flood study from TTW which was reviewed by QPRC development engineering staff. It was considered that the proposed use is suitable and the impacts of flooding on neighbouring land is minimal. Incorporating the new Mill Post Creek design will likely manage storm/flood water more efficiently. It is considered that appropriate supporting documentation has been supplied to satisfy this clause subject to compliance with the conditions of consent.

6.3 Terrestrial biodiversity

Clause 6.3 of the PLEP 2014 makes for provision for developments that impact on terrestrial biodiversity. The development is located in areas mapped as having potential biodiversity, which was reviewed in the Environmental Impacts Statement (EIS) supplied by Capital Ecology. The report concluded that the subject land is heavily grazed and does not support significant biodiversity values, therefore the proposed development does not have the potential to result in any significant impacts. Additionally, the areas flagged as terrestrial biodiversity follow the creek lines. As mentioned in the above assessment, the works have been reviewed in Halfway Creek and Mill Post Creek, both will have minimal impact and likely resulting in a more positive biodiversity outcome. It's considered with the supporting documents and the conditions of consent the development satisfies this clause.

6.5 Riparian land and watercourses

Clause 6.5 of the PLEP 2014 makes provisions for developments impacting on riparian land and watercourses. The development will require works within Mill Post Creek and Half Way Creek which were referred to the relevant external bodies (NSW Fisheries and NRAR). The impacts of the development were assessed against additional information supplied and considered not to have an adverse impact on;

- (i) the water quality and flows within the watercourse,
- (ii) aquatic and riparian species, habitats and ecosystems of the watercourse,
- (iii) the stability of the bed and banks of the watercourse,
- (iv) the free passage of fish and other aquatic organisms within or along the watercourse,
- (v) any future rehabilitation of the watercourse and riparian areas.

The proposed works will result in a more positive outcome for the site, satisfying the clause.

6.11 Essential services

Clause 6.11 of the PLEP 2014 requires satisfactory arrangements to be made for water supply, stormwater drainage, solid domestic waste, sewage, and the treatment and disposal of effluent. Along with the supply of electricity and suitable vehicle access. The site will be conditioned to construct and connect to suitable services including mains electricity, reticulated water and sewer.

4.15(1)(a)(ii) any draft environmental planning instruments

The draft Queanbeyan-Palerang Comprehensive Local Environmental Plan 2020 was publicly exhibited from 1 June 2020 to 30 June 2020. The draft plan has been considered as part of this assessment and has no effect on the proposed development.

4.15(1)(a)(iii) any development control plan

Palerang Development Control Plan 2015

Section	Controls	Complies
PART B – GENERAL PROVISIONS		
B3	<p>Flora, fauna, soil and watercourses</p> <p>The proposed EIS suitably addressed the relevant clauses in the PLEP 2014, Biodiversity Act and the EPA Act. The application was referred to NSW fisheries and the Natural Resource Access Regulator (NRAR) who both provided no objections to the proposal.</p> <p>The development will result in a more biodiversity positive development which minimises impacts to existing areas.</p>	Yes
B5	<p>Crime Prevention through Environmental Design</p> <p>The development has been designed with Crime prevention measures in place. However, as part of the assessment the application was referred to the Crime Prevention Office at NSW Police who advised no major issues with the safety of the development and provided additional measure that could be used to further increase safety. These comment are earlier in the report. It is considered that the application is consistent with this provision.</p>	Yes
B7	<p>Engineering Requirements</p> <p>The application was referred to both the development engineers and utility engineers for comment. Both assessment and referral comments located above. Its considered with the assessment in the referrals section and the conditions of consent the application is considered consistent with the clause.</p>	Yes
B5	<p>Erosion and Sediment control</p> <p>The consent will contain a condition for erosion and sediment control, as well as a construction management plan, to ensure that adequate measures are in place during the construction phase.</p>	Yes

B9	<p>Flooding</p> <p>The application was lodged with a flood impact statement from TTW which addresses the criteria outlined in the PLEP 2014 clause 6.2. The development engineering staff reviewed the proposal and in conjunction with the Mill Post Creek design considered that the impacts to the sporting facilities and the neighbouring properties is minimal. The reports suggest the works together will more effectively manage storm and flood water, which is consistent with this section.</p>	Yes
B10.2	<p>Aboriginal Heritage</p> <p>An AHIMS search was carried out and did not indicate any heritage sites within the vicinity of the proposed development, as such it is considered that the proposed development is unlikely to result in the disturbance of any items of aboriginal indigenous cultural heritage. However, given the site contains significant creek lines further investigation is required to be carried out to ensure no natural heritage or remnant aboriginal heritage exists and is impacted. A due diligence investigation was undertaken by Black Mountain Projects- Heritage Consultants who surveyed the site and identified no sites or objects in the development areas and considered the areas to have low potential to contain Aboriginal sites or objects.</p> <p>The report suggest the is a higher likelihood for occurrence on Halfway Creek, however only the impacted areas were visited and sites/objects found.</p> <p>A condition however will be contained within the consent that the development is to proceed with caution and if any Aboriginal objects are found works should stop and DECCW are to be notified.</p>	Yes
B15	<p>Waste Management</p> <p>The consent will contain a condition for waste management to ensure that adequate measures are in place during the construction phase.</p>	Yes
PART C22 – Filling of Land		
C22	<p>Objectives and controls</p> <p>Subject to the recommended conditions of consent, it is considered that the proposed development is consistent with the objectives and generally consistent with the controls of the DCP. The development will only use/import VENM/ENM where required an vegetate the site to a suitable standard upon completion. The conditions of consent will include appropriate erosion and sediment controls and construction plans to effectively manage any potential pollution or runoff.</p>	Complies

General comments		
	<p>General comments</p> <p>The Palerang DCP does not have specific control on recreation facilities or recreation areas. However, general amenity and neighbourhood character comments are as follows:</p> <ul style="list-style-type: none"> - The proposed pavilion is non-reflective in colour and will blend into the environment. - The size, scale and bulk is suitable for that area and is not unnecessary design. - The design is practical and usable for the sporting hub and will be a valuable asset to QPRC and its community. - The development doesn't restrict further development - The development is not predicted to impact surrounding lots 	Complies

4.15(1)(a)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15(1)(a)(iv) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to this prescribed matters, the proposed development does not involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

4.15(1)(a)(v) any coastal zone management plan

Council is not subject to a coastal zone management plan.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Proximity to the Bungendore Sewage Treatment Plant

The proposed Sports Hub lies directly to the south of the existing Bungendore Sewage Treatment Plant (STP). To provide some context, distances from the rear boundary of the STP to the following elements of the Sports Hub are as follows:

- Nearest point – North-West Netball Court in Stage 2 – Approximately 120m
- Amenities Building 1 – Approximately 240m
- Amenities Building 2 – Approximately 450m

Council is aware that there are periodic odours released from the STP which impact on existing residential areas particularly to the east and south east of the STP. This reflects the predominant west and north westerly winds in Bungendore. As such it is likely that odours from the STP will periodically impact the Sports Hub. For this reason an odour assessment report was requested to be submitted with the development application.

In considering the impacts of odour from the STP on the Sports Hub the following comments from Council's Environmental Health and Utilities Teams are relevant.

Environmental Health Team Comments

Generally the Department of Urban Affairs and Planning's Circular E3 — Guidelines for Buffer Areas Around Sewage Treatment Plants recommends buffer zones of at least 400 metres to residential and other sensitive users. It is generally accepted that providing a buffer zone will assist in reducing nuisances caused by the STP on the users of the community.

Under the EPA document, *Technical Notes: Assessment and Management of Odour from Stationary Sources* in NSW an odour can only be judged 'offensive' by public reaction. The nuisance level can be as low as 2 odour units (OU) and as high as 100U for less offensive odours. The EPA Technical Framework recommends that, as a design assessment criterion, no individual should be exposed to ambient odour levels of greater than 70U (99th percentile).

The odour assessment provided as part of the development assessment (GHD December 2019) predicts there may be some odour issues present depending on the type of activity being conducted at the Sewage Treatment Plant (STP) with desludging causing the highest generation of odour units. Potential significant sources of odour were determined as:

- Inlet works – receipt of all inflows; screening of inflows by mechanical screen, grit removal
- IDEA reactors – two IDEA reactors with tank capacity of 2,000 equivalent persons (EP) and 3,000 EP, sludge age of 25 days, decanter through syphon and aeration time at 12 hours per day.
- Sludge lagoons – four lagoons with estimated volume of 929m³ for two of the lagoons and 2,150m³ for the other two
- Sludge drying beds
- Catch pond – one catch pond with catch volume of 960m³ for 5000 EP

The figure below has been provided by the Utilities Team and shows the main sources of odour generated at the STP.



Bungendore Sewage Treatment Plant. Red stars indicating treatment processes which generate odour naturally, noting predominant west and north-westerly wind directions in Bungendore.

As part of the GHD report, no odour sampling was undertaken at the site. Odour emission rates used in the assessment were based on measurements at other sites and therefore may not be representative of actual site odour profiles.

If the Sports Hub is placed in this location, it may be a requirement to either close the facility at times when the operation of the STP will produce odour measurements greater than 7OU or when STP operational activities are being undertaken that produce an increase in the odour.

Utilities Team Comments

The Bungendore sewage treatment plant is a conventional plant in that it contains many of the process trains that a majority of NSW plants routinely operate. Of importance here are the inlet works and the sludge digestion streams. Both generate odours as part of their normal operation. The location of these is shown in Figure 6 above. The presence of these odours is noticeable on site, but that is normal. They are also noticeable from time to time beyond the site, the extent of which varies depending upon prevailing winds and seasonal process changes.

The saving grace for this plant (as it is for the Braidwood, Captains Flat and indeed Queanbeyan plants) has been its buffer of 350-400 metres. Please do not ignore the need to maintain this quantum of buffer in the considerations for the development potential of land adjacent to the STP.

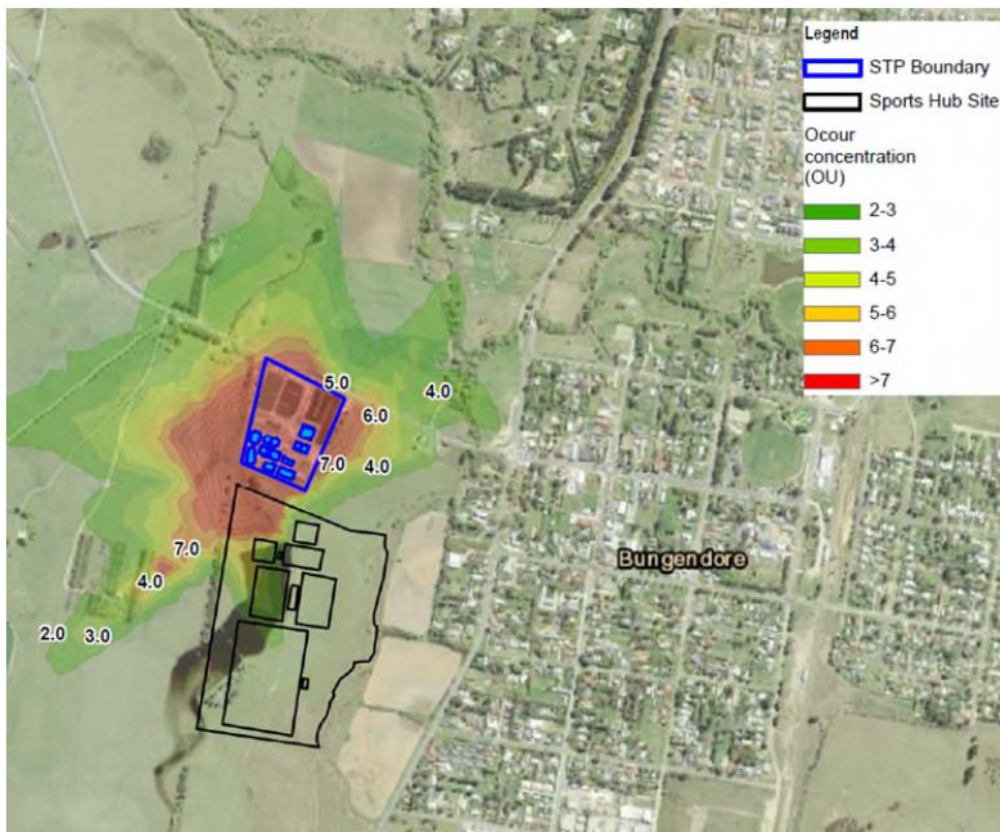
There is also the need to consider the future plans for this plant where we aim to increase its capacity to around 12,000EP. These works will see additional process trains of inlet works and sludge lagoons likely along the southern boundary. This plant is not of the like of the Googong STP and it would be both uneconomical and impractical to attempt to retrofit any effective and reliable odour control measures.

The Utilities Team consider that if the Sports Hub proceeds Council should be prepared to accept ongoing complaints from users of the facility.

Summary of assessment

As indicated above planning guidelines recommend a buffer area of at least 400 metres surrounding sewage treatment plants, generally for residential developments. However, consideration of a reduced buffer for the Sports Hub should be given because of the public nature of the use, its open air environment and the intermittent use of the facility.

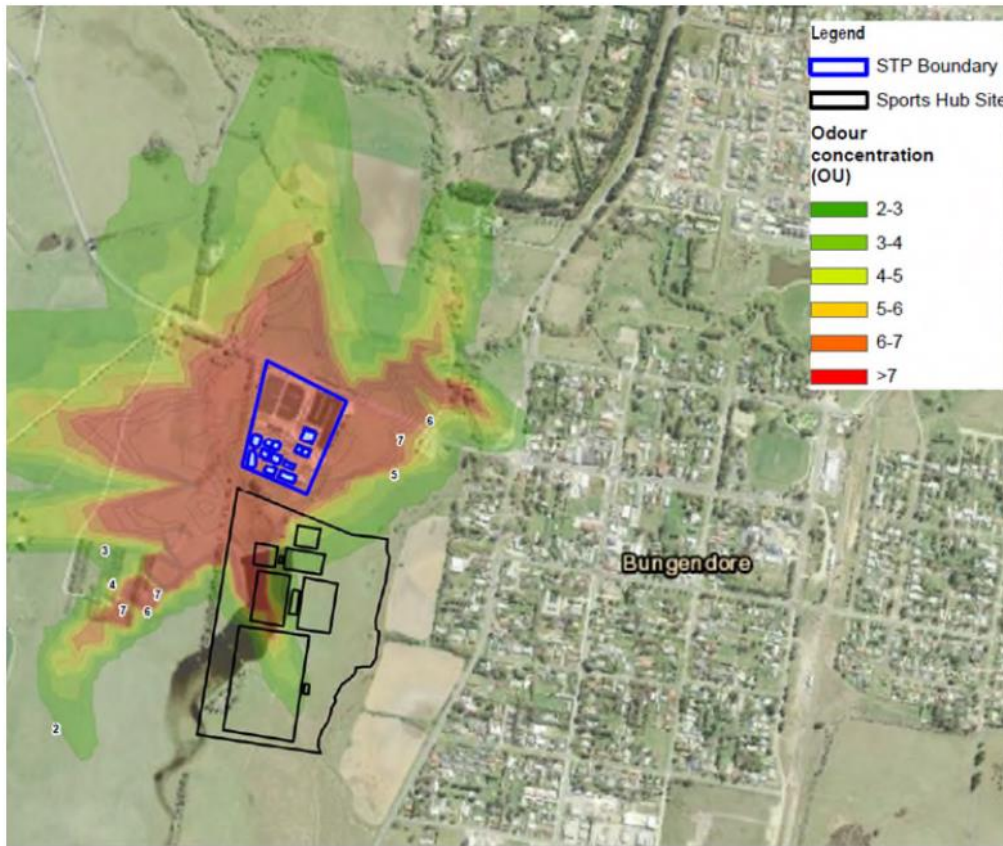
The Odour Impact Report accompanying the application examined three scenarios that were typical of the STP operations. The first related to normal day to day operations. The modelling, best viewed in the depiction of the odour impacts in the figure below, indicates where the criteria of 7OU is exceeded for 1% of the time. These areas are shown in red.



Scenario 1 - Predicted Peak Odour Impact - Normal Operations

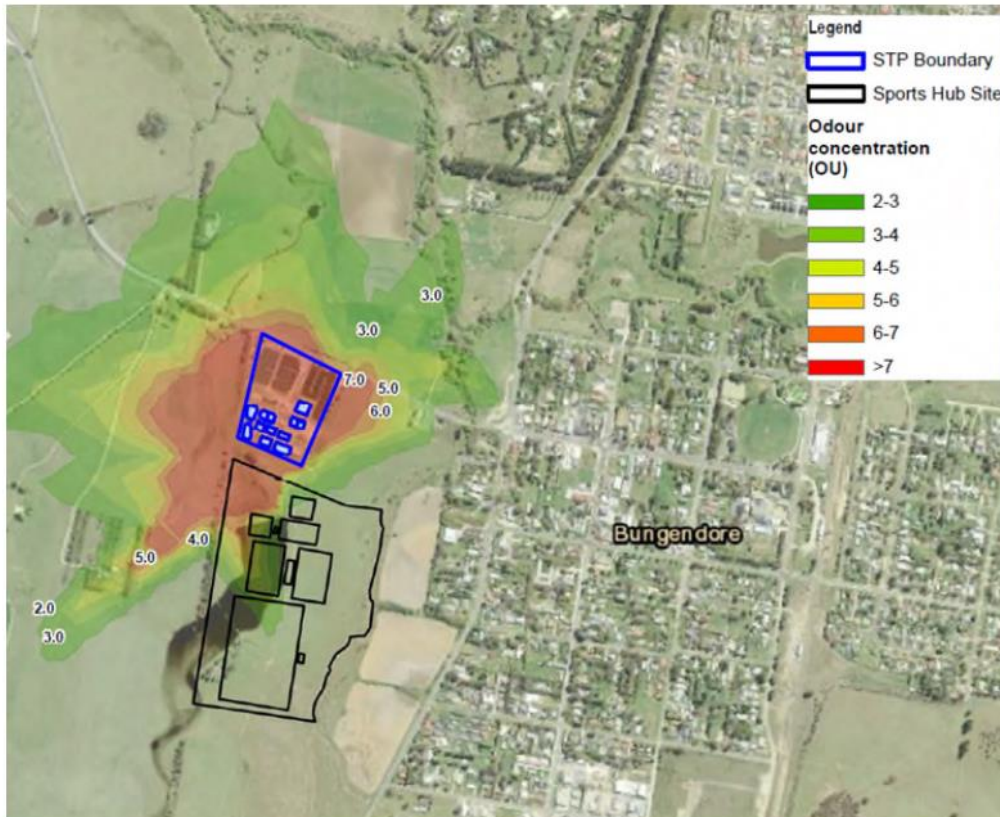
Under Scenario 1 it can be seen that none of the facilities are likely to be affected on a regular basis by odours of greater than 7OU and that much of the site would suffer little impact.

Scenario 2 examines the worst case scenario where odours are caused by desludging to drying beds. In this case the depiction in the figure below shows that much of the northwest corner of the Sports Hub has the potential to be affected by more than 7OU for 1% of the time. This is somewhat ameliorated by the fact that desludging is a relatively infrequent process carried out two to three times per year.



Scenario 2 - Predicted Peak Odour Impact – Operations with Desludging

The Odour Impact Report examines a third scenario being an increase in sludge lagoon odour. As can be seen from the figure below this has similar impacts to Scenario 1. The frequency of such events is harder to predict and can be impacted by seasonal and load variations on the STP.



Scenario 3 - Predicted Peak Odour Impact – Increase in Sludge Lagoon Odour

In modelling the odour impacts the report points out that the modelling is based on exposure for 14 hours per day, 365 days per year and that impacts would be reduced as exposure is reduced. On average the Sports Hub will likely to be used for less than 4 hours per weekday and 8 hours per day on weekends, predominantly in the winter season.

Photinia hedges have been planted along the boundary of the site recently by the Utilities Team (January 2021) to start creating a visual buffer from future patrons of the recreation site, however, it will unlikely aid in buffering the odour.

The need for the Sports Hub has been identified in previous studies of recreational needs in the local government area. It will provide a critical element in the recreational and social infrastructure for Bungendore for many years. While it is accepted that there may be periodic impacts from STP odours on the facility the infrequency of use, relatively short period of time in which users are present and the open air nature of the facility mean that on balance the potential periodic odour impacts are outweighed by the need for this important facility. This is supported by the odour study which in the case of all scenarios indicates reduced exposure will reduce impacts.

On balance the assessment has determined that the Sports Hub can operate satisfactorily, but that Council may receive odour complaints from users from time to time.

4.15(1)(c) the suitability of the site for the development

The subject site is relatively unconstrained and is considered to be suitable in its current state for the purposes of the proposed development.

4.15(1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part E of the PDCP 2015 from **3 August to 31 August**, with **one** submission received, raising the following concerns:

1. Increased water directed onto neighbouring property

Assessing officer's comments:

A submission raised concerns of increased flooding/overland water drainage to their property. The Flood Impact Assessment as prepared by TTW dated 20 November 2019 confirms that there is no significant impact to the adjacent property to the west of the development site, with typically less than 15mm increase in flood levels. There is localised (on the ovals) increase of up to 60mm near the south west boundary, but also reductions in flood levels of up to 130mm on the adjacent land. Overall, with the new Mill Post Creek design and proposed earthworks, there is no significant net increase in flood levels on the western adjacent property.

2. Privacy, noise and security

Assessing officer's comments:

A submission raised concerns of privacy, noise and security. The proposed development is a use of infrequent nature and not a use considered to emit offensive noise. The closest dwelling is located over 200m away which minimises any privacy concerns.

A compromise of security on adjoining properties is not considered to increase with the development. All boundary fencing will remain and the development will install passive security measures with possible CCTV which will likely increase security of the area.

3. Protection of neighbouring vegetation

Assessing officer's comments:

A submission raised concern of losing boundary trees to the development. The proposed works are located within the boundaries of Lot 1 DP 1262898 and the public road (currently Lot 2 DP 1262898). No foreseen impacts to trees located on neighbouring lots.

4. Light Pollution

Assessing officer's comments:

A submission raised concerns of the impacts of the sporting lights on adjoining property. The field lights will be used only when the hub is in use. These lights will be installed to minimise spill outside of the sport complex and installed in accordance with AS2560. Again, with the nearest dwelling is located over 200m away, with the impact considered minimal.

4.15(1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

SECTION 64 CONTRIBUTIONS

A review of the Palerang Community Development Servicing Plan for both sewerage and water supply indicates that the Plan applies to land specified in the map in Appendix A (CI 2.1).

As can be seen in the map below the land subject to this application is outside the area where the Plan applies in Bungendore.



Area of Bungendore Where the Water and Sewer Developer Servicing Plans Apply

However, Clause 2.2 of the Plans provides that:

The DSP area boundaries are based on the existing and future developments to be served by Council's water supply/sewer services for the Palerang Community. Regarding the new developments outside the water supply DSP areas boundaries, Council may:

- *apply the developer charges adopted by this Plan to the new development, or*
- *prepare a new DSP for the new development.*

This suggests that the Plan may be applied to other new developments outside the specified area, although it would seem this clause is meant to capture new development such as a major subdivision proposed for an area outside that shown on the map.

However, given that this community facility will not be used continuously a discount should be applied. It is expected that the facility will be used for the equivalent of two full days and five half days each week (i.e. 4.5 days) rather than the typical seven days applicable to most developments. As such a discount of 4.5/7 days should be applied.

Notwithstanding the above it is recommended that the Section 64 water and sewer contributions not be applied to this development as the Palerang Community Development Servicing Plans (DSP) for both sewerage and water supply indicate that the land on which the development is proposed is not covered by the DSP.

If Council determines that Section 64 Contributions are applicable to the proposed development then contributions are calculated as follows.

Based on the amenities building having 15 WCs and 9 showers, the following Section 64 contributions were calculated with reference to the NSW Water Directorate Determinations of Equivalent Tenements – April 2017 for WC/shower amenities on page 33. As the subdivision of Lot 2 DP 1137743 will be formed prior to this development through a compulsory property acquisition process, the BSH on Lot 1 DP 1262898 is essentially an infill development. Subsequently, the water and sewer headworks contributions for Bungendore (infill) are calculated at 9.60 E.T. (24 x 0.4) and 15.12 E.T. (24 x 0.63) respectfully for the following amounts;

- Bungendore (infill) Water Headworks for 9.60 E.T.s = (\$7,601 x 9.60) = \$72,970.
- Bungendore (infill) Sewer Headworks for 15.12 E.T.s = (\$10,650 x 15.12) = \$161,028.

If a discount based on 4.5/7 days is applied the discounted rate would be:

- Water - \$46,910
- Sewer - \$103,518

SECTION 7.11 CONTRIBUTIONS

Section 7.11 of the *Environmental Planning & Assessment Act 1979* permits councils to require as a condition of development consent, the reasonable dedication of land or the payment of monies, or both, for development that is likely to require the provision of, or increase the demand for public amenities and public services within the area.

Section 7.11 Contributions are not applicable to the proposed community development.

CONCLUSION

The application has been assessed having regard to Section 4.15 of the *Environmental Planning and Assessment Act 1979*, and is considered to be satisfactory for approval, subject to the recommended conditions of consent:

CONDITIONS OF CONSENT

Signed:  _Date: 19/01/21

Assessing Officer: P Williams

Determination: DA.2020.1307 be **Approved** under delegated authority pursuant to Section 4.16(1) of the *Environmental Planning and Assessment Act 1979*.

Signed: _____ **Date:** <insert date>

Delegated Authority: <insert name>

Bungendore Sports Hub Soccer Pavilion - Building A

29.05.2020

LEAD CONSULTANT + ARCHITECTURE

oxigen

Oxigen Pty Ltd
98-100 Halifax Street
Adelaide SA 5000

T +61 (08) 7324 9600
design@oxigen.net.au
oxigen.net.au

CLIENT

Queanbeyan-Palerang
Regional Council

CIVIL, STORMWATER, FLOOD +
STRUCTURAL ENGINEERING

TTW

SERVICES ENGINEERING
Lucid

DRAWINGS

19.004.BA.000	COVERSHEET	OXI
19.004.BA.100	SITE PLAN & SETOUT	OXI
19.004.BA.101	FLOOR PLAN & ROOF PLAN	OXI
19.004.BA.201	ELEVATIONS	OXI





This drawing must be read in conjunction with all other contract documents including the project specifications, schedule and any instructions issued during the course of the contract. The Contractor must verify all dimensions on site and check the location of services before commencement of work. This contract is to verify the Superintendent of any discrepancies between the drawings or specifications. Drawings are not to be used for construction unless identified as the final set for the construction. All drawings to be read as if all unless otherwise stated. Drawings are provided for digital output and DWG files will be issued upon request. Copyright Oxygen Pty Ltd

Plan No: 19004.BA Date: 10/2020

Scale: 1:500 (A3) 1:1000 (A4)

0 5 10 20m

LEGEND
 - - - - - PROPERTY BOUNDARY
 - - - - - EXTENT OF WORKS

01 SITE PLAN & SETOUT
 SCALE 1:500

oxygen
 Oxygen Pty Ltd
 58-100 Malton Street
 Adelaide SA 5000
 T +61 (0)8 7324 9600
 design@oxygen.net.au
 oxygen.net.au

Project: Bungendore Sports Hub
 Client: Queensland-Palarang Regional Council

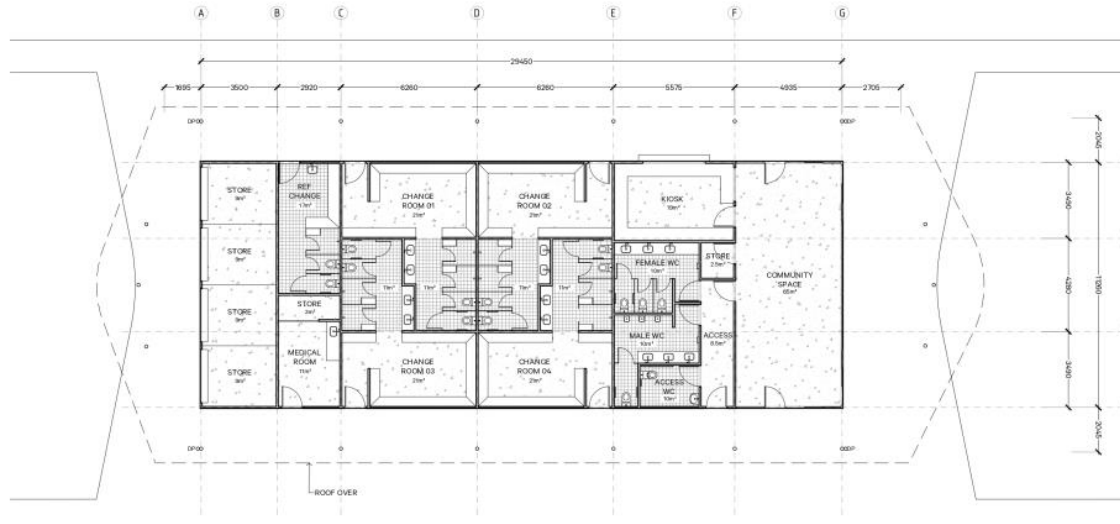
Lead + Architecture: Oxygen
 Civil, Stormwater, Flood + Structural Engineering: TTW
 Services Engineering: Lucid

Drawing Title: Site Plan & Setout

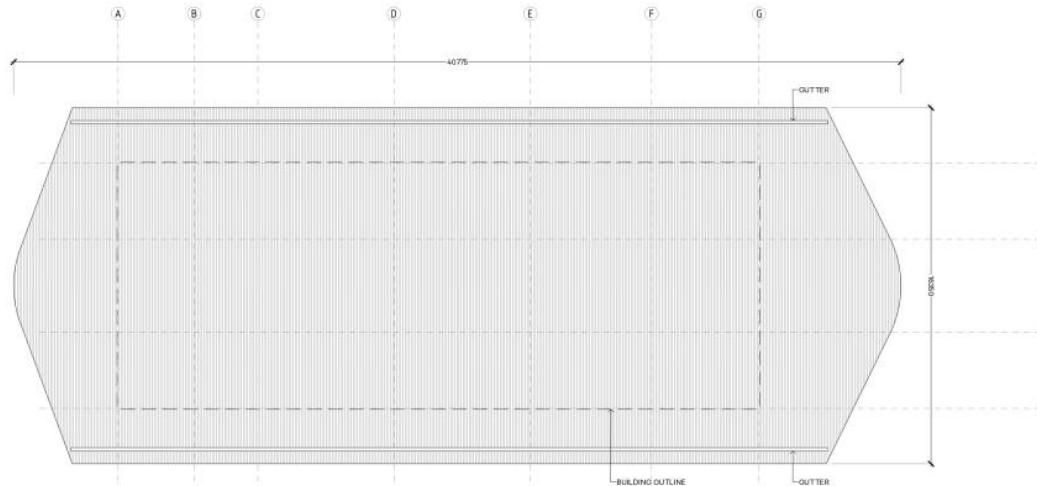
Project number	Drawing number	Revision
19.004.BA	100	B
Rev	Date	Issue
A	10/01/20	ISSUE FOR TENDERS
B	10/01/20	ISSUE FOR SETOUT
C		
D		
E		
F		
G		
H		
I		
J		
K		
L		
M		
N		
O		
P		
Q		
R		
S		
T		
U		
V		
W		
X		
Y		
Z		

PRELIMINARY

9.1 DA.2020.1307 - Bungendore Sports Hub - Lots 1, 2 & 3 DP 1262898 - Bungendore Road, Bungendore
 Attachment 2 - DA.2020.1307 - Plans - Bungendore Sports Hub (Continued)



01 FLOOR PLAN
 SCALE 1:50



02 ROOF PLAN
 SCALE 1:50

This drawing must be read in conjunction with all other contract documents including the project specifications, schedule and any instructions issued during the course of the contract. The Contractor must verify all dimensions on site and check the location of services before commencement of work. This contract is to verify the Superintendent of any discrepancies between the drawings or specifications. Drawings are not to be used for construction unless identified as the final set on the construction. All drawings to the rest of all unless otherwise stated. Drawings are provided for digital review and DWG files will be issued upon request. Copyright Oxygen Pty Ltd

Plan No: 19004-BA Date: 15/08/2020

Scale: 1:50 (40, 100, 200)



- LEGEND**
- NEW WALL
 - ROOF OVER
 - CONCRETE FLOOR
 - TILED FLOOR
 - STORMWATER DOWNPIPE

oxygen

Oxygen Pty Ltd
 58-100 Malpas Street
 Adelaide SA 5000
 T +61 (0)8 7324 9600
 design@oxygen.net.au
 oxygen.net.au

Project: Bungendore Sports Hub
 Client: Queensland-Paleraang Regional Council
 Level: Architecture
 Oxygen
 Civil, Stormwater, Flood + Structural Engineering
 TTW
 Services Engineering
 Lucid

Drawing Title
Floor Plan & Roof Plan

Project number: 19.004.BA Drawing number: 101 Revision: B

Rev	Date	Issue	DWN	CHK	APP
A	15/08/2020	ISSUE FOR TENDERS	DL	DL	DL
B	15/08/2020	REVISED	DL	DL	DL

PRELIMINARY

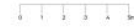
9.1 DA.2020.1307 - Bungendore Sports Hub - Lots 1, 2 & 3 DP 1262898 - Bungendore Road, Bungendore
 Attachment 2 - DA.2020.1307 - Plans - Bungendore Sports Hub (Continued)

This drawing must be read in conjunction with all other contract documents including the project specifications, schedule and any instructions issued during the course of the contract. The Contractor must verify all dimensions on site and check the location of services before commencement of work. This contract is to be read in the Supplement of any documents between the drawings or specifications. Drawings are not to be used for construction unless identified in the title block as the construction. All drawings to the east of A1 unless otherwise stated. Drawings are provided for digital readout and CAD files will be issued upon request. Copyright Oxigen Pty Ltd

Plan No: 19.004.BA Date: 15/09/20

Scale

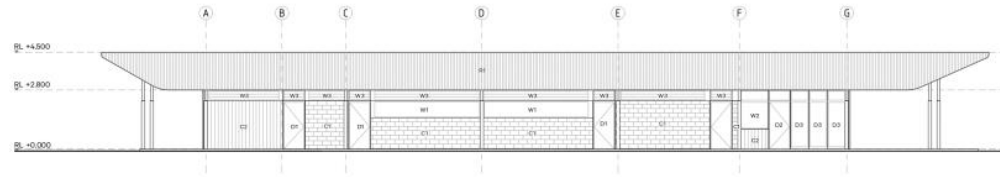
1:100 (A0), 1:200 (A1)



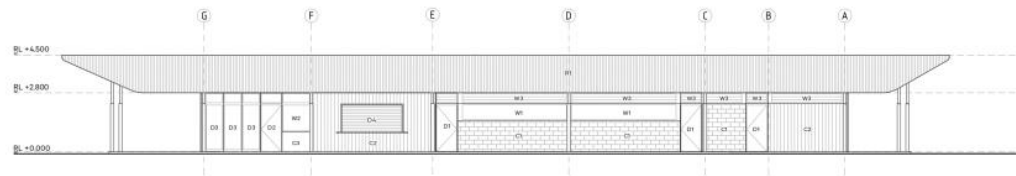
LEGEND

- C1 CLADDING TYPE 1
CONCRETE BLOCK
- C2 CLADDING TYPE 2
GIC TYPE 21 ANGR
- C3 CLADDING TYPE 3
GIC TYPE 22 ANGR
- R1 ROOF TYPE 1
GUTTER 100
- W1 WINDOW TYPE 1
OPERABLE GLAZING
- W2 WINDOW TYPE 2
OPERABLE GLAZING
- W3 WINDOW TYPE 3
LANTERN GLAZING
- W4 WINDOW TYPE 4
OPERABLE GLAZING
- D1 DOOR TYPE 1
CHANGE ROOM DOOR
- D2 DOOR TYPE 2
CLASSROOM
- D3 DOOR TYPE 3
SLIP DOOR
- D4 DOOR TYPE 4
ROOF ROLLER DOOR
- RR DOOR TYPE 4
ROOF ROLLER DOOR
- SDP STRIKEWATER DOWNPIPE

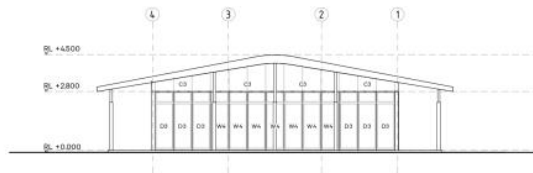
01 EAST ELEVATION
SCALE 1:100



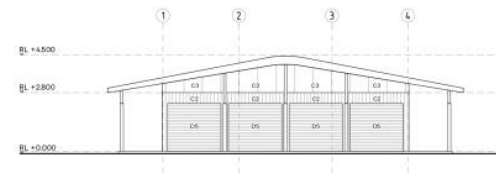
02 WEST ELEVATION
SCALE 1:100



03 NORTH ELEVATION
SCALE 1:100



04 SOUTH ELEVATION
SCALE 1:100



oxigen

Oxigen Pty Ltd
 55-57/55 Malpas Street
 Adelaide SA 5000

T +61 (0)8 7324 9600
 design@oxigen.net.au
 oxigen.net.au

Project
Bungendore Sports Hub

Lead + Architecture
Oxigen

Civil, Stormwater, Flood +
 Structural Engineering
TTW

Client
**Queensberry-Palmerang
 Regional Council**

Services Engineering
Lucid

Drawing Title
Elevations

Project number
19.004.BA

Drawing number
201

Revision
B

Rev	Date	Issue	DWN	CHK	APP
A	15/09/20	ISSUE LAYOUT	DL	DL	DL
B	15/09/20	REVISED	DL	DL	DL

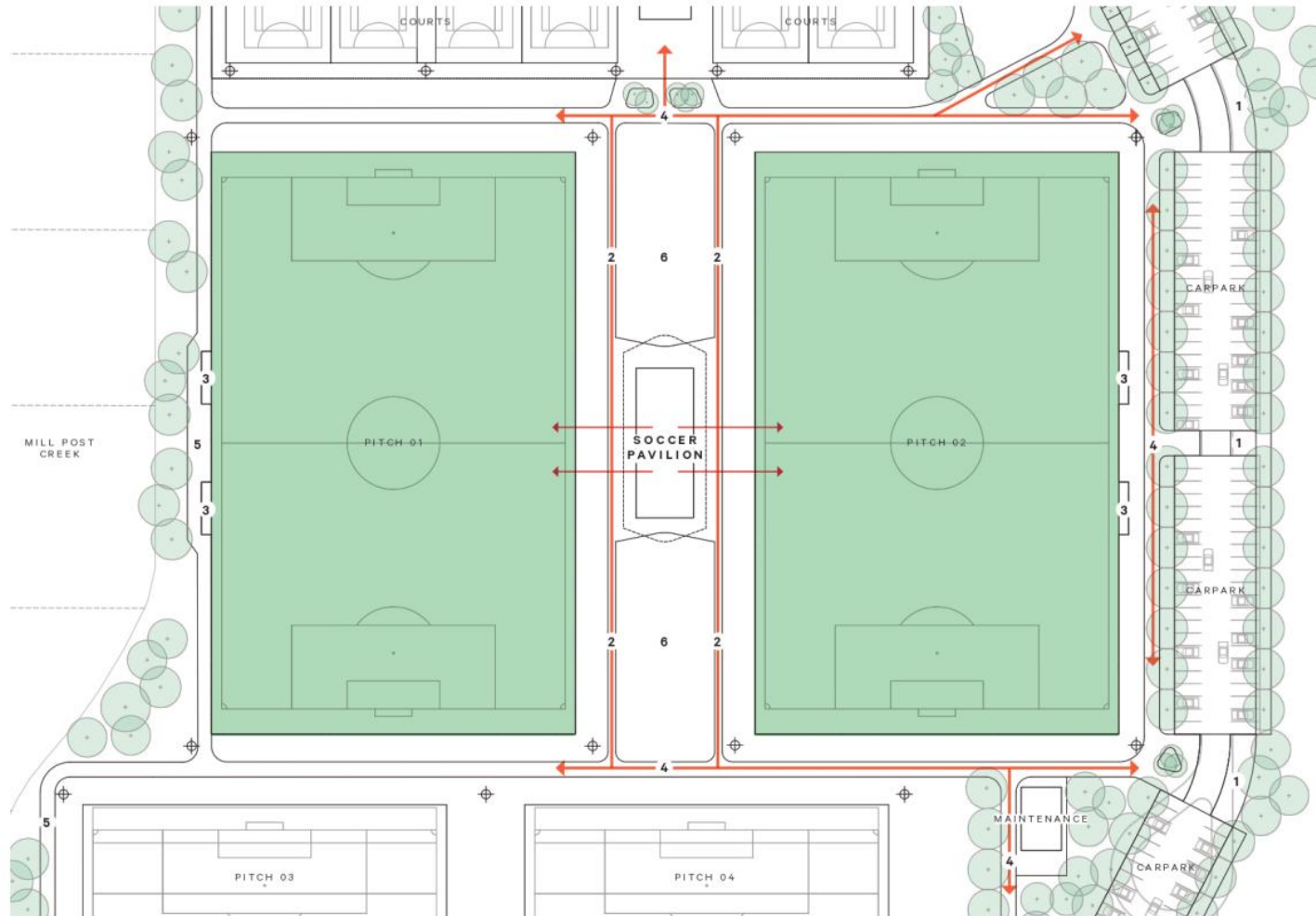
PRELIMINARY

Scale 1:600 (AS 1800 (A2))

Legend / Notes

SOCCER PAVILION SITE PLAN

- Soccer Pitch
 - Pedestrian movement (general public)
 - Pedestrian movement (players)
 - + Sports lighting
-
- 1** Pedestrian drop-off / pick-up zone
 - 2** Entry walkway + viewing
 - 3** Player bench
 - 4** Primary path
 - 5** Perimeter path
 - 6** Warmup / spectator viewing



oxigen

Oxigen Pty Ltd
 98-100 Heales Street
 Adelaide 5000

T +6108 7324 9000
 design@oxigen.net.au
 oxigen.net.au

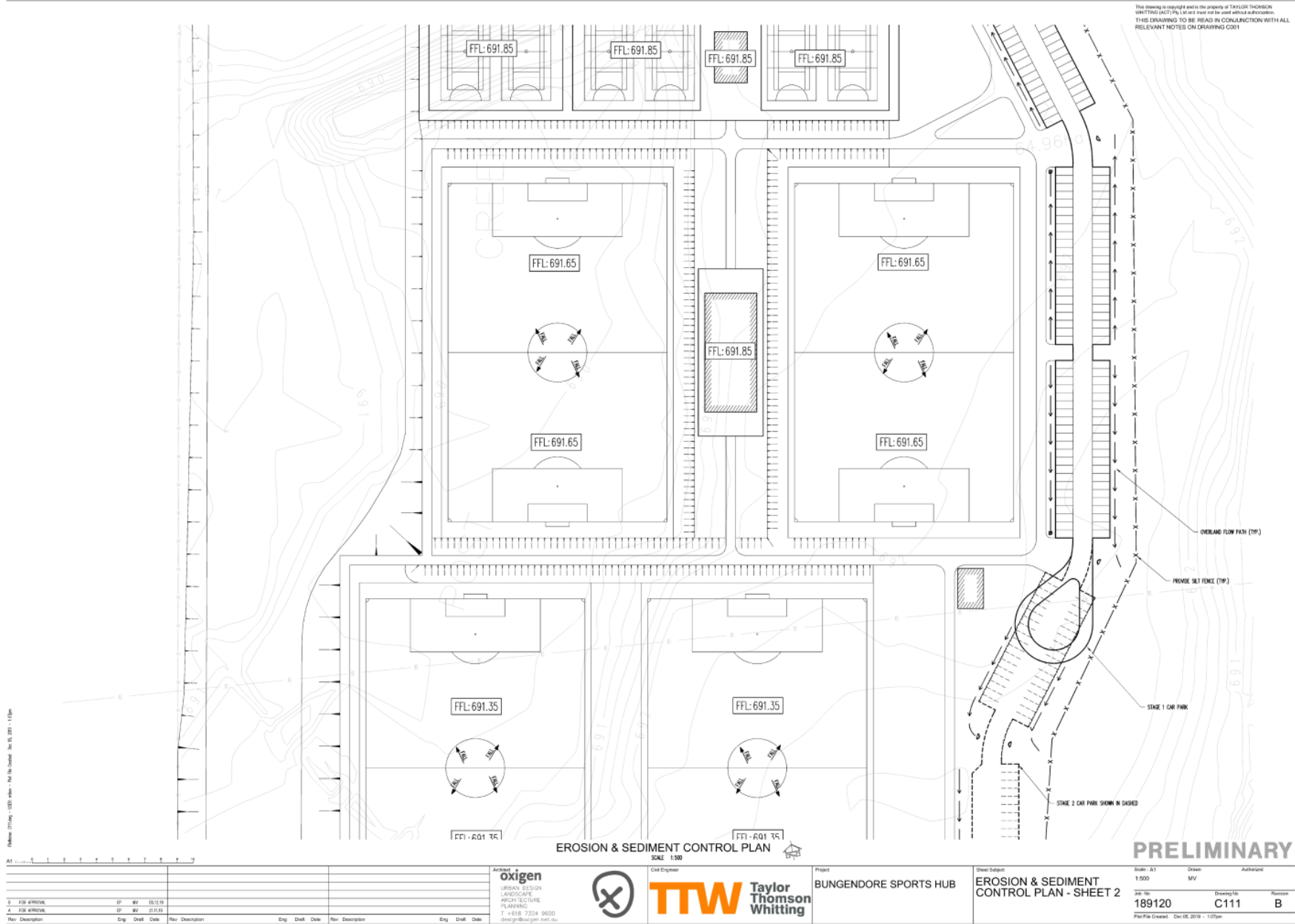
Project
Bungendore Sports Hub

Client
Queanbeyan-Palerang Regional Council

Lead + Architecture
Oxigen
 Civil, Traffic, Stormwater, Flood + Structural Engineering
TTW
 Services Engineering
Ludd
 Cost Planning
RLB
 Odour Impact
GHD

Drawing Title
Landscape Drawings Date
 29/05/20

Project number Drawing number Revision
19.004 030 A



Rev	Description	Eng	Draft	Date	Rev	Description	Eng	Draft	Date
1	FOR APPROVAL	GP	MF	05/13/19					
2	FOR APPROVAL	GP	MF	22/11/19					

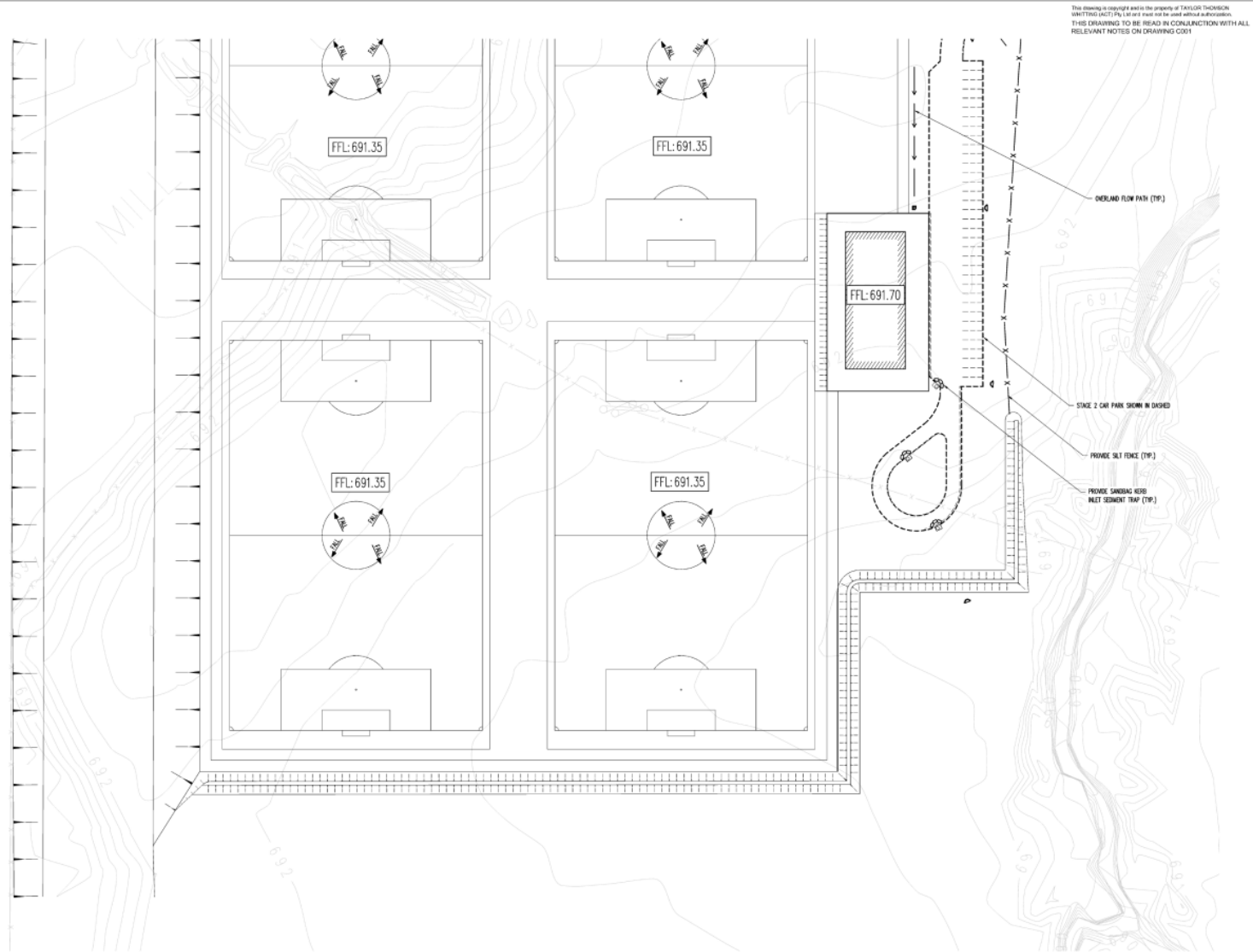
Architect
oxigen
 URBAN DESIGN
 LANDSCAPE
 ARCHITECTURE
 PLANNING
 T + 618 7324 9600
 design@oxigen.net.au

Civil Engineer
TTW
 Taylor
 Thomson
 Whitting

Project
BUNGENDORE SPORTS HUB

Sheet Subject
EROSION & SEDIMENT CONTROL PLAN - SHEET 2

Scale: A1
 1:500
 Drawn: MV
 Authorised:
 Job No: 189120
 Drawing No: C111
 Revision: B
 Plot File Created: Dec 05, 2019 - 1:07pm



This drawing is copyright with the property of TAYLOR THOMSON WHITTING (ACT) PTY LTD and may not be used without authorisation. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT NOTES ON DRAWING COPY

EROSION & SEDIMENT CONTROL PLAN
 SCALE 1:500

PRELIMINARY

(Matter 22/2019) 1:500 scale - 10/10/2019 - 10/10/2019

Rev	Description	Eng	Draft	Date	Rev	Description	Eng	Draft	Date
1	FOR APPROVAL	GP	MF	05/11/19					
2	FOR APPROVAL	GP	MF	22/11/19					

oxigen
 URBAN DESIGN
 LANDSCAPE
 ARCHITECTURE
 PLANNING
 T + 618 7324 9600
 design@oxigen.net.au



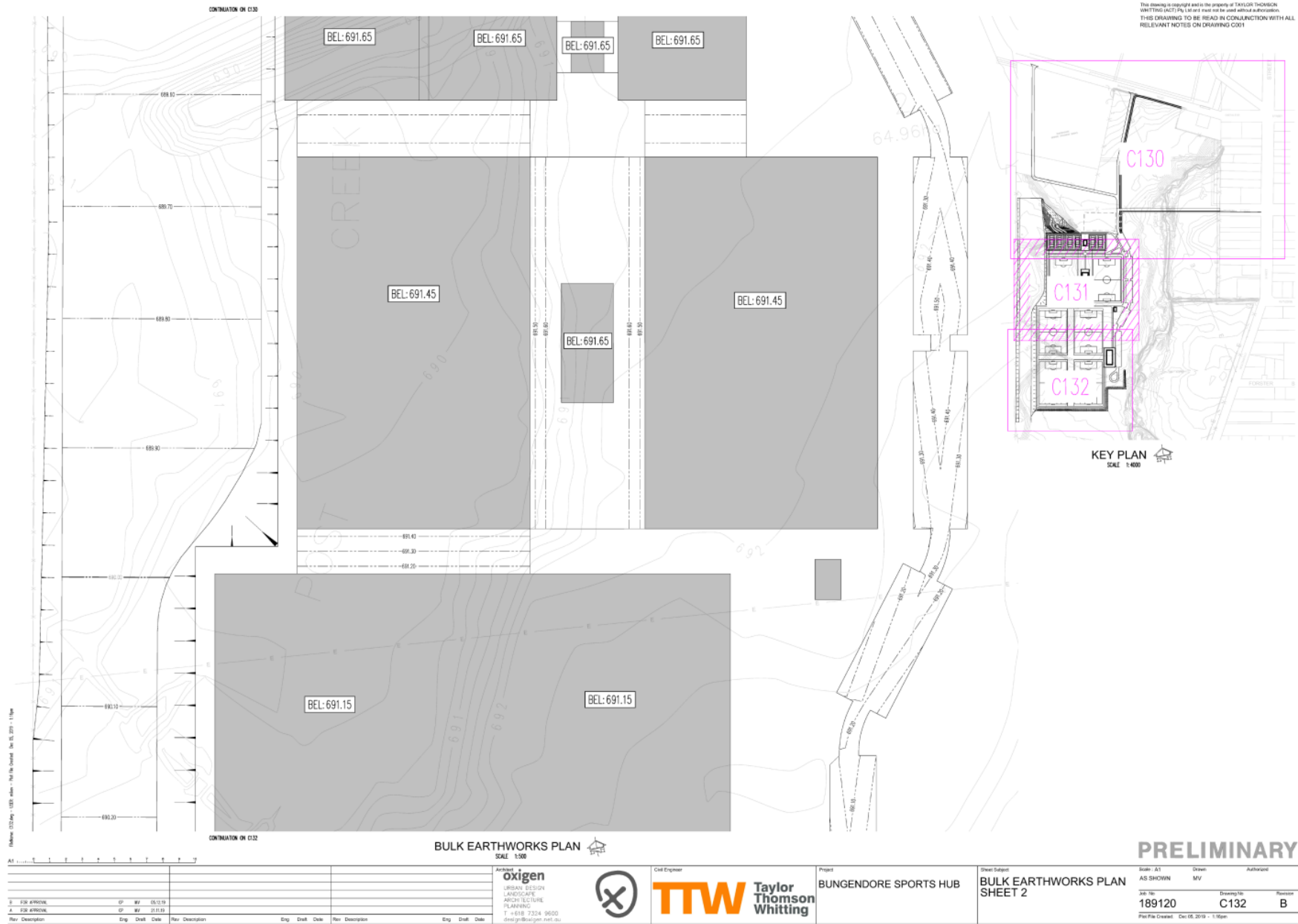
Civil Engineer
TTW Taylor
 Thomson
 Whitting

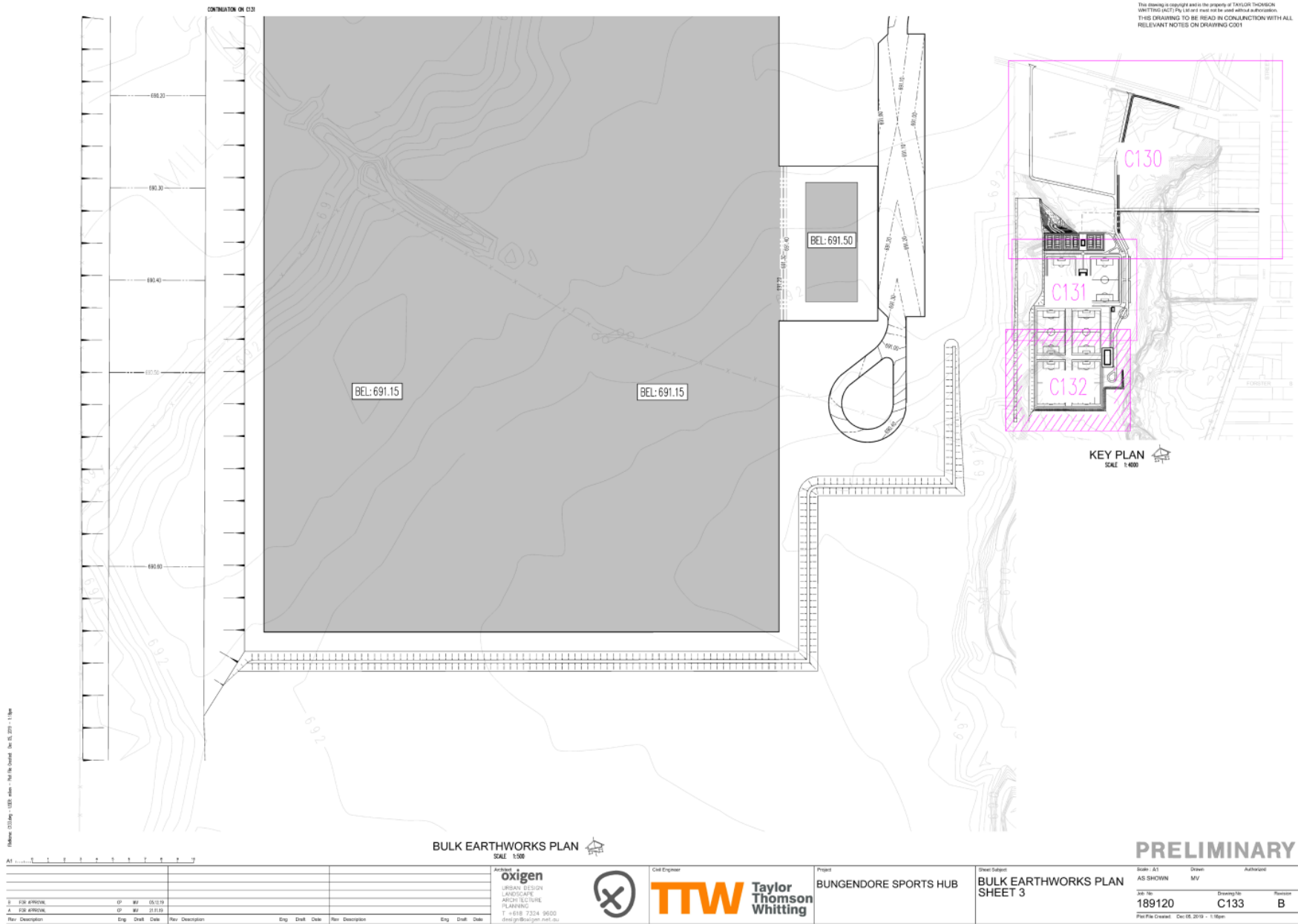
Project
 BUNGENDORE SPORTS HUB

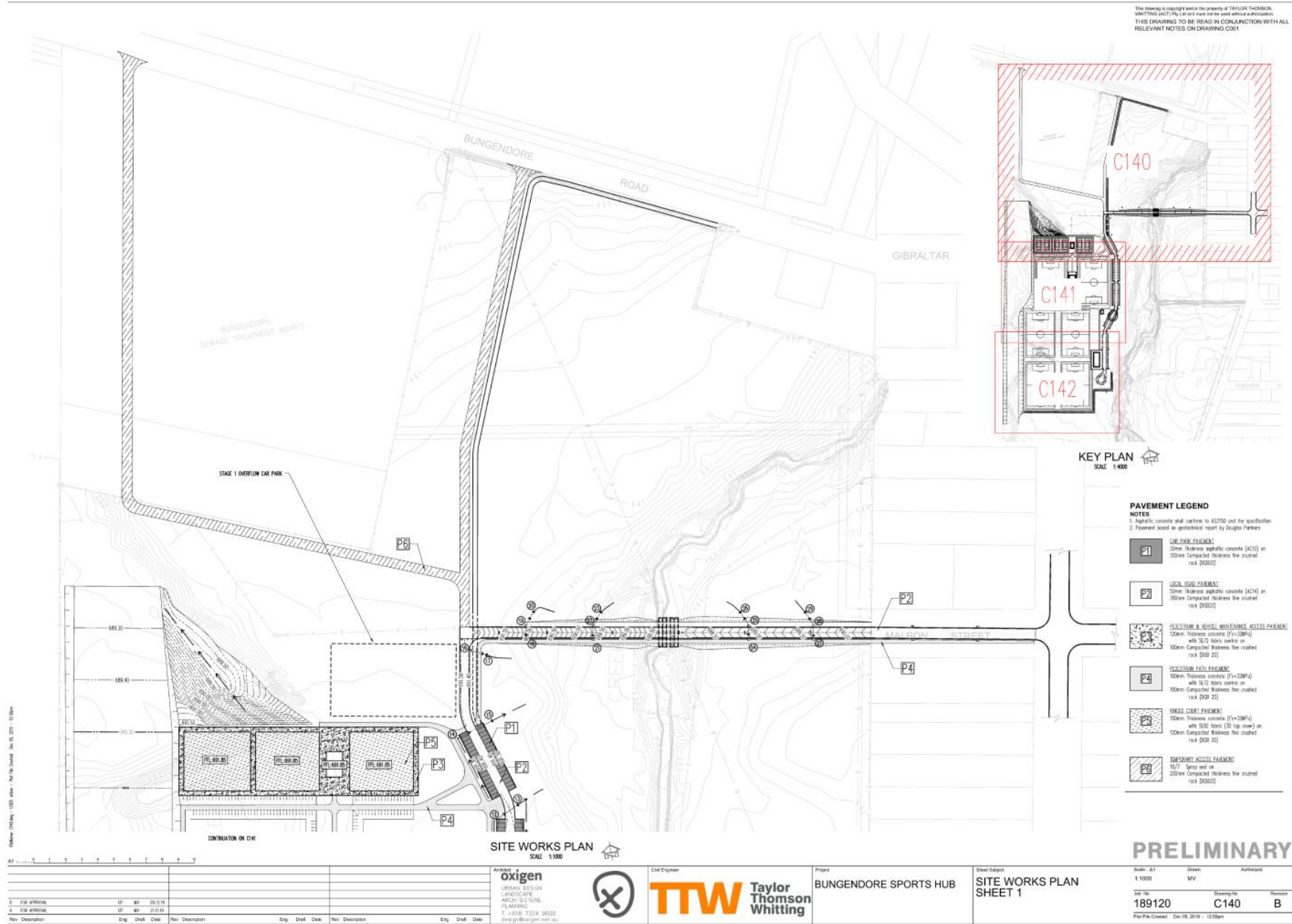
Sheet Subject
 EROSION & SEDIMENT
 CONTROL PLAN - SHEET 3

Scale	Author
A1 1:500	MV
Job No 189120	Revision B
Drawing No C112	
Plot File Created Dec 05 2019 - 1:08pm	

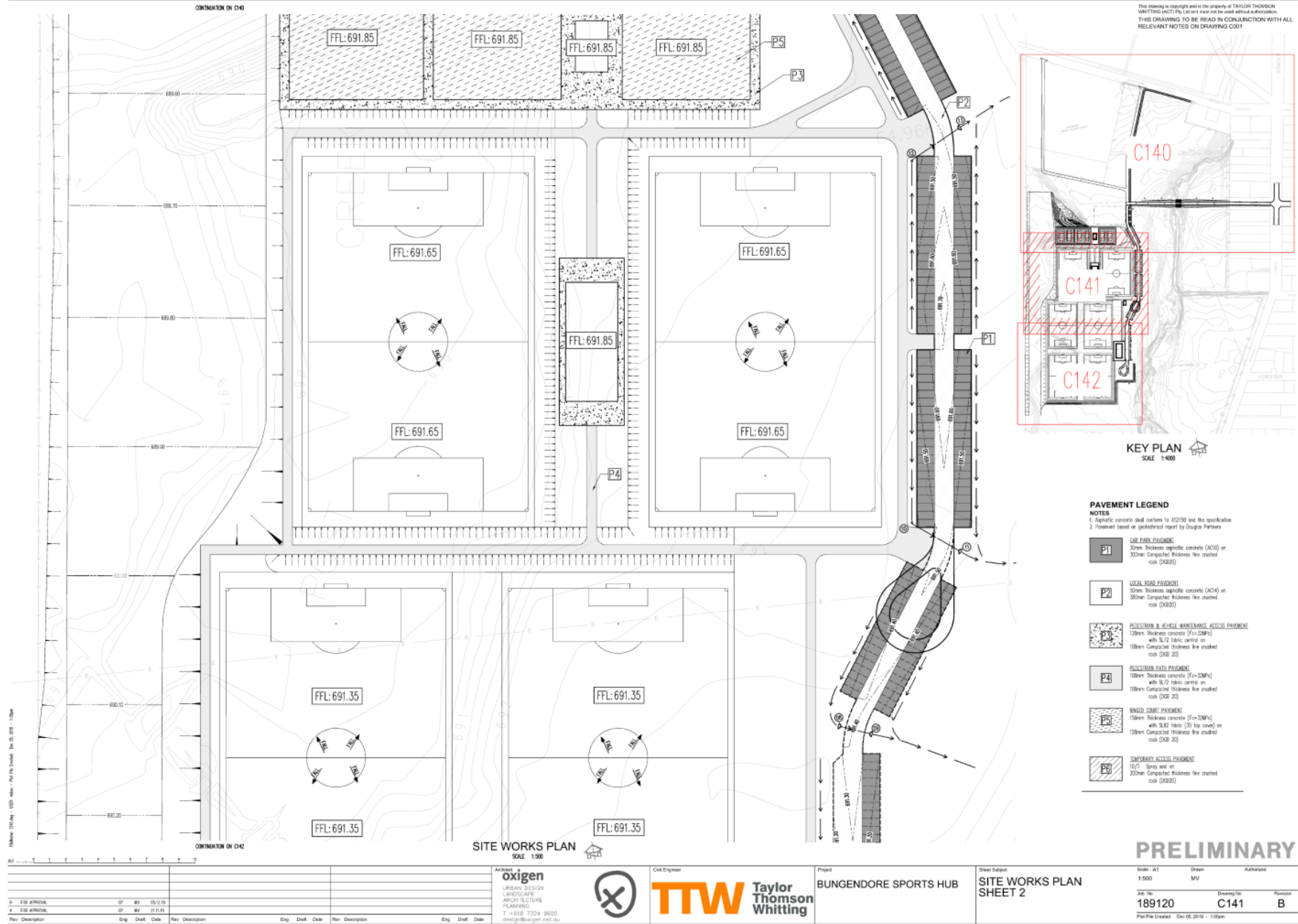
9.1 DA.2020.1307 - Bungendore Sports Hub - Lots 1, 2 & 3 DP 1262898 - Bungendore Road, Bungendore
 Attachment 2 - DA.2020.1307 - Plans - Bungendore Sports Hub (Continued)

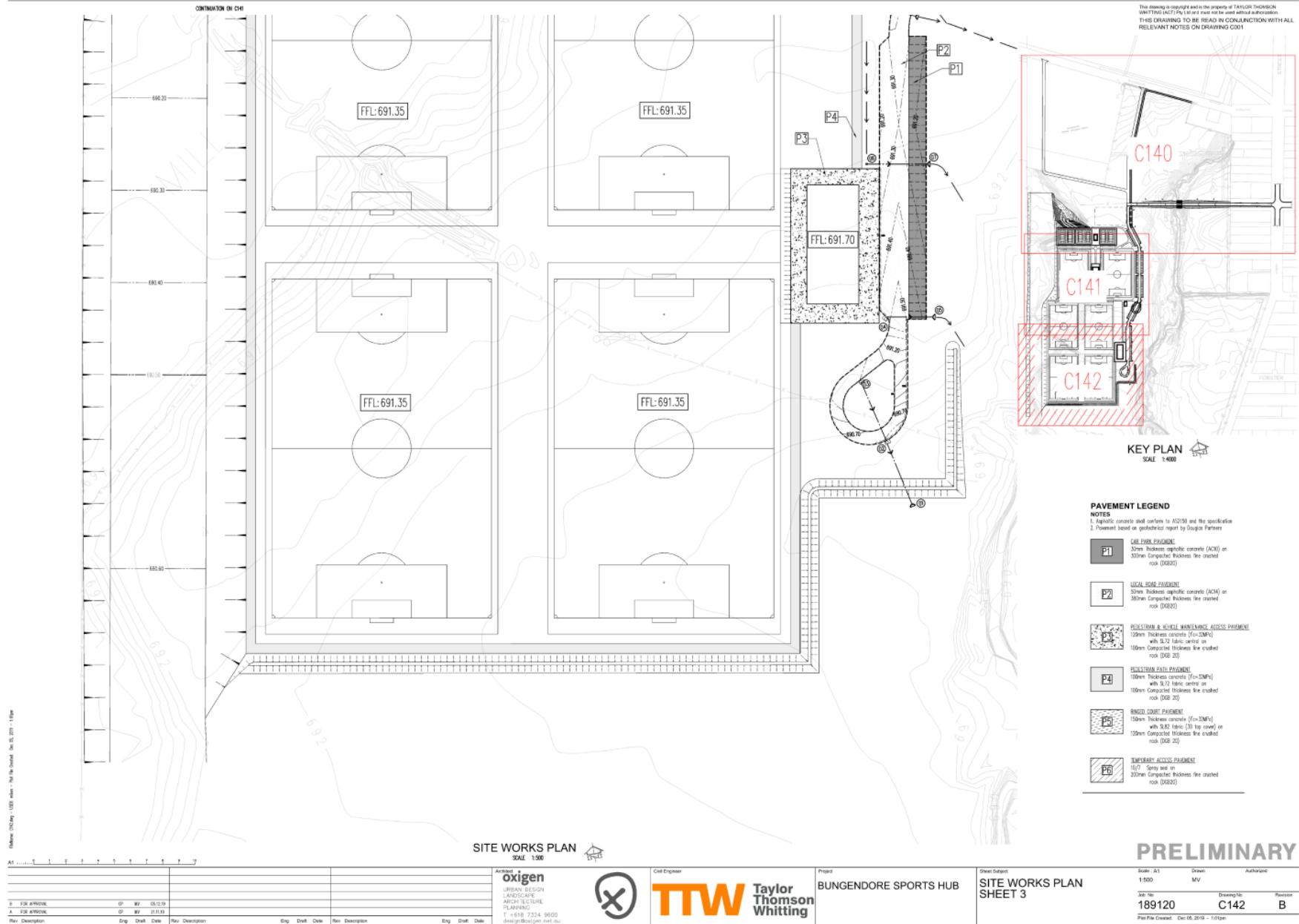




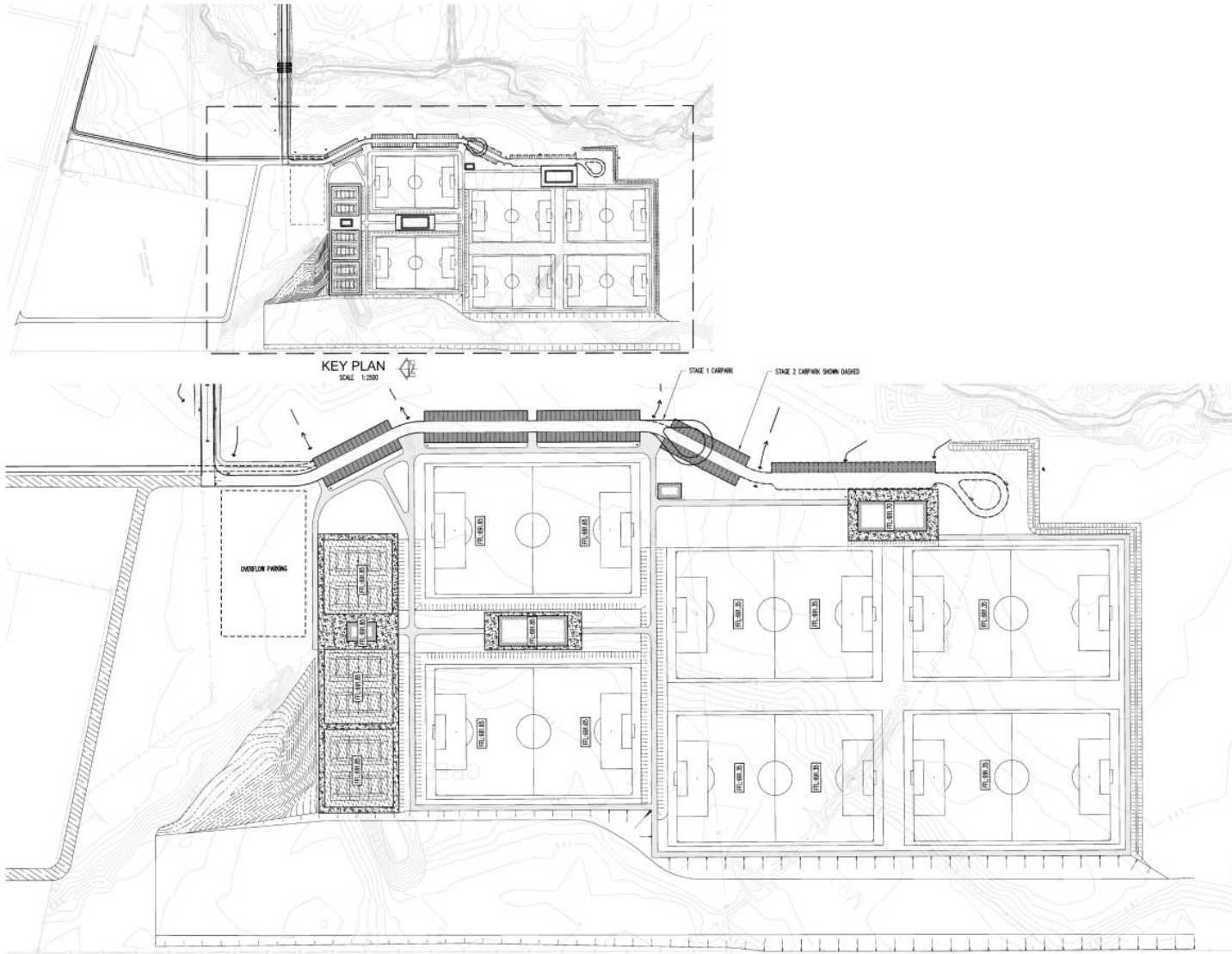


9.1 DA.2020.1307 - Bungendore Sports Hub - Lots 1, 2 & 3 DP 1262898 - Bungendore Road, Bungendore
 Attachment 2 - DA.2020.1307 - Plans - Bungendore Sports Hub (Continued)





The drawings copyright with the property of TAYLOR THOMSON WHITTING (ACT) PTY LTD and their subsidiaries and related corporations.
 THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT NOTES ON DRAWING COPI



Melbourne City Council - 1588 - 1589 - 1590 - 1591 - 1592 - 1593 - 1594 - 1595 - 1596 - 1597 - 1598 - 1599 - 1600

CONSOLIDATED SITE WORKS PLAN
 SCALE 1:1000

PRELIMINARY

AT	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	

oxigen
 URBAN DESIGN
 LANDSCAPE
 ARCHITECTURE
 PLANNING
 T +618 7324 9600
 design@oxigen.net.au



Civil Engineer
TTW Taylor
 Thomson
 Whitting

Project
 BUNGENDORE SPORTS HUB

Sheet Subject
 CONSOLIDATED SITE
 WORKS PLAN SHEET 1

Scale: A1	Drawn: M/V	Authorised:
AS SHOWN		
Job No:	Drawing No:	Revision:
189120	C170	B
Plot File Created: Dec 05, 2019 - 1:22pm		

MILL POST CREEK BUNGENDORE ROAD

DEVELOPMENT APPLICATION
 NOVEMBER 2020



DRAWING SCHEDULE

NO.	DESCRIPTION	DATE
01	PROPOSAL TITLE	01/11/20
02	COVER PAGE	01/11/20
03	LANDSCAPE LEGEND AND AD 01/11/20	01/11/20
04	LANDSCAPE GENERAL ARRANGEMENT PLAN	01/11/20
05	LANDSCAPE DETAIL SHEET 1 OF 1	01/11/20
06	LANDSCAPE DETAIL SHEET 2	01/11/20
07	LANDSCAPE DETAIL SHEET 3	01/11/20

CLIENT:


















ARCHITECTS:

CONSULTANTS:



LEGEND

-  LIMIT OF WORKS
-  EXISTING TREES TO BE RETAINED
-  EXISTING TREES TO BE REMOVED
-  PROPOSED TREE
-  ROCKS AS DETAILED
-  HABITAT LOG
SOURCE FROM REMOVED EXISTING TREES, WITH HOLLOWES. SELECTION & FINAL LOG PLACEMENT TO BE APPROVED BY SITE LANDSCAPE ARCHITECT. 5-6M LENGTH NOM. 750 Ø PLACE FIRMLY IN LOCATION SO AS TO HAVE NO ROCKING OR MOVEMENT.
-  SPADE CUT EDGE
-  PAVING TYPE 1
- Concrete broom finish
-  PROPOSED POND
-  PROPOSED CREEK LINE
- Typical 1.2m wide
-  LOWER BANK PLANTING
-  UPPER BANK PLANTING
-  TERRESTRIAL PLANTING
-  DRYLAND GRASS
-  BRIDGE

PLANTING NOTES:

1. ALL SERVICES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORKS WITH RELEVANT SERVICE AUTHORITIES.
2. ALL WORKS TO BE IN ACCORDANCE WITH THE CURRENT TCCS STANDARD SPECIFICATION FOR URBAN INFRASTRUCTURE WORKS.
3. PLANT SPECIES TO BE PLANTED IN ODD NUMBER GROUPS WITH MIN 9 MAX 37 PLANTS PER GROUP TO ACHIEVE NATURAL SWALES OF PLANTING.
4. ALL PLANTING TO BE PLANTED IN SPECIES GROUPS WITH SIZE PROGRESSING FROM SMALL TO LARGE AWAY FROM THE HARD SURFACES.
5. REINSTATE DRYLAND GRASS TO EXTENT OF DISTURBANCE.
6. ALL INDESCO LANDSCAPE DRAWINGS ARE PRODUCED IN COLOUR, ALL COPIES MUST BE PRINTED IN COLOUR FROM ORIGINAL PDF FILES TO PREVENT LOSS OF LEGIBILITY.
7. MATURE SPREAD OF SHRUBS TO BE SET BACK MIN 0.5M FROM PATHS.

PLANTING SCHEDULE

PLANTING ZONE	COMMON NAME	A	B	C	D
		Creekline	Lower bank	Upper bank	Batter
SPECIES	COMMON NAME				
SEDGES AND RUSHES					
Carex appressa	Tall sedge				
Juncus usitatis	Mat rush				
Baumea articulata	Jointed twig rush				
Eleocharis sphacelata	Tall spike rush				
GROUNDCOVERS					
Schoenoplectus mucronatus	bog bakrush				
Lomandra longifolia	Spiny-head mat-rush				
Myoporum parvifolium	Creeping boobialla				
Themeda triandra	Kangaroo grass				
Lomandra hystrix	Creek Mat-Rush				
Daniella revoluta	Blueberry flax-ily				
Lomandra longifolia katrinus	Spiny-head mat-rush				
Lomandra longifolia tanika	Spiny-head mat-rush				
VINES AND CLIMBERS					
Grevillea poorinda 'Royal Mantle'	Royal Mantle Grevillea				
SHRUBS					
Westringia fruticosa (WEF)	Native Rosemary				

TREE PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	POT SIZE	QUANTITY
STREET TREES						
Emf	Eucalyptus mannifera	Brittle gum	10-20M	10M	300SR	
OPEN SPACE AND BUFFER ZONE LARGE TREES						
Csc	Casuarina cunninghamiana	She oak	10-20M	10M	300SR	
Eme	Eucalyptus melliodora	Yellow box	15-30M	15M	300SR	
Ebl	Eucalyptus blakelyi	Blakely's Red gum	20-25M	15M	300SR	
Epo	Eucalyptus polyanthemos	Red box	10-15M	5M	300SR	

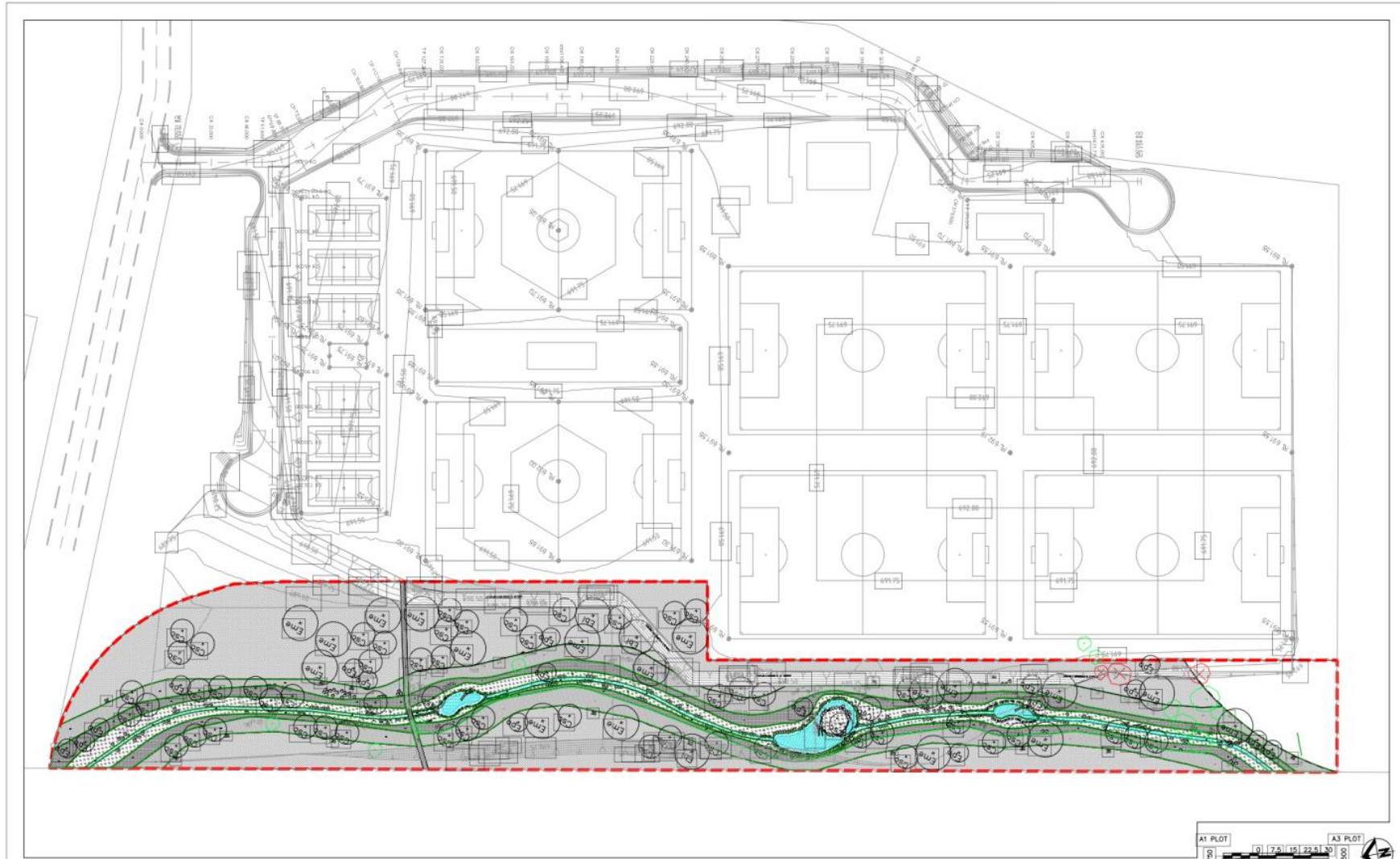
NO.	AMENDMENT	DATE	BY
1	FOR CLIP REVIEW	20	22.10.2020
2	FOR CLIP REVIEW	20	22.10.2020



APPROVED BY	DATE	22.10.2020
CHECKED BY	DATE	22.10.2020
DRAWN BY		
DATE FILED		
SCALE	AS SHOWN	

7792 Mill Post Creek
 Naturalisation

DRAWING TITLE LANDSCAPE LEGEND AND NOTES		
PROJECT NO. 7792	DRAWING NO. L200	SHEET B



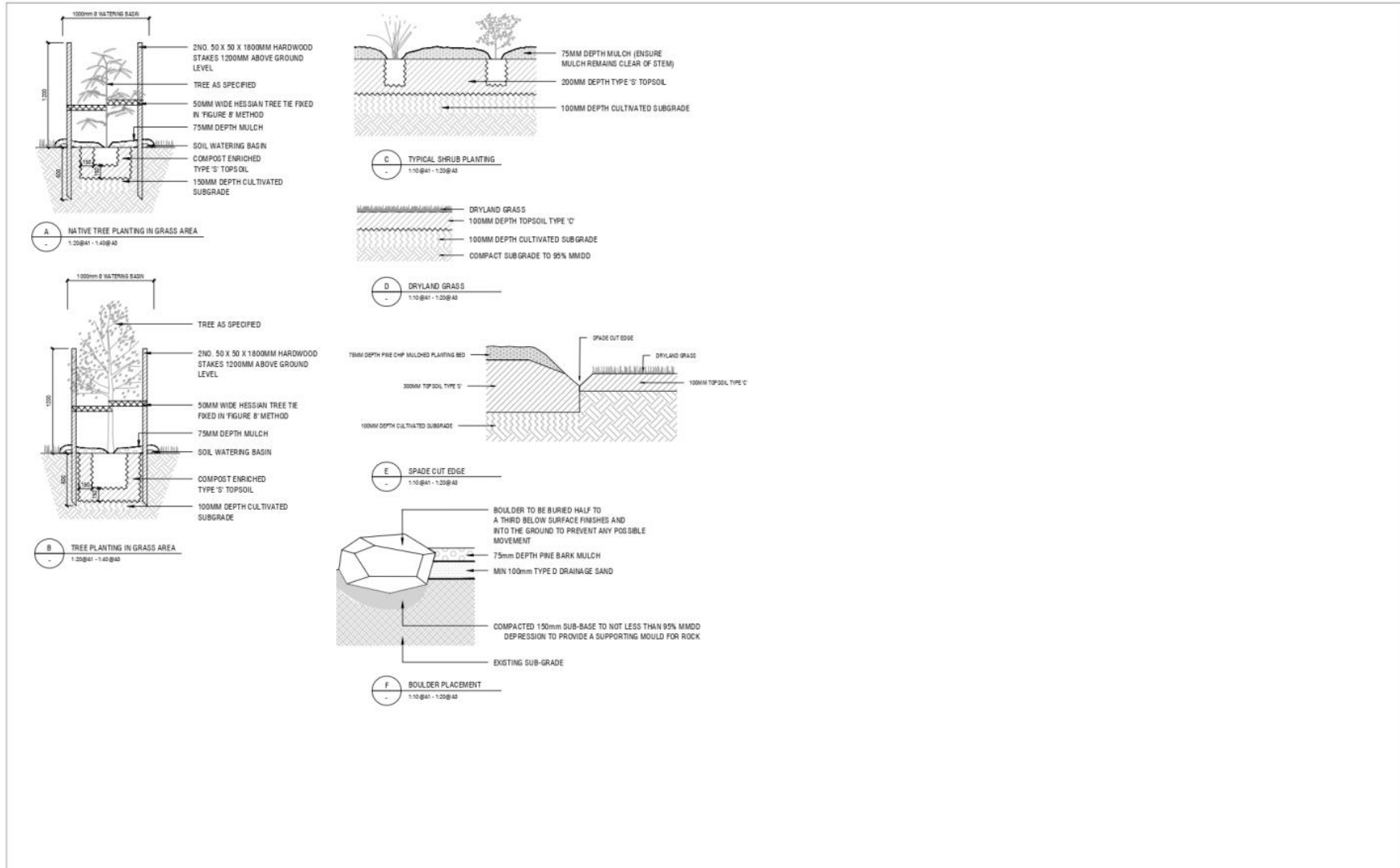
NO.	AMENDMENT	DATE	BY
1	FOR C.B.P. REVIEW	28.10.2020	YV
2	FOR C.B.P. REVIEW	28.10.2020	YV



APPROVED BY	DATE
CHECKED BY	DATE
DRAWN BY	
CAD FILE	
DATE	
AS SHOWN	

PROJECT
 7792 Mill Post Creek
 Naturalisation

DRAWING TITLE LANDSCAPE GENERAL ARRANGEMENTS PLAN	
PROJECT NO. 7792	DRAWING NO. L300
SHEET B	



NO.	AMENDMENT	APPROVED	DATE	BY
1	REV. C.B.P. 10/20	10	21.10.2020	10
2	REV. C.B.P. 10/20	10	21.10.2020	10

CLIENT

QPRC

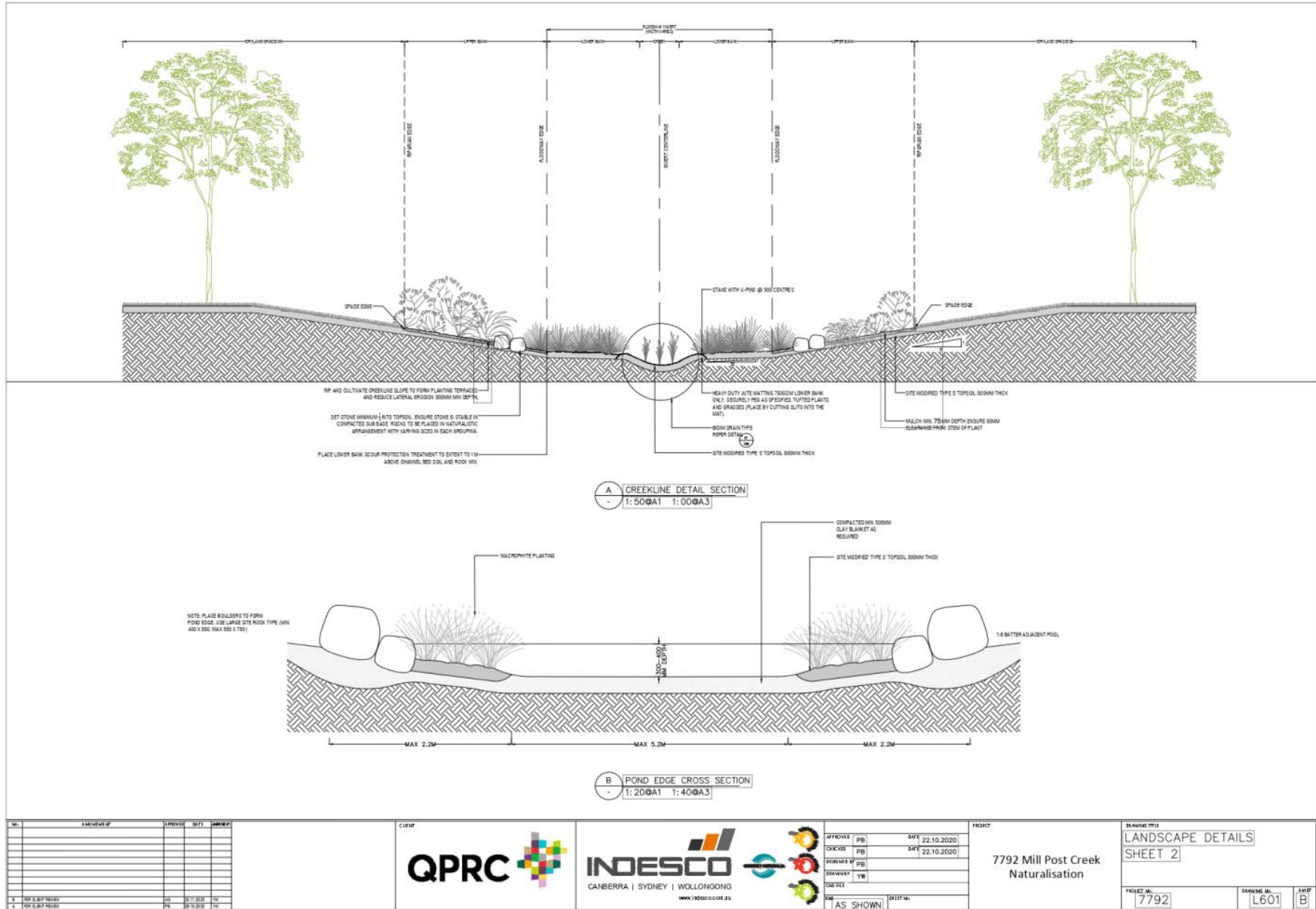
INESCO
 CANBERRA | SYDNEY | WOLLONGONG
 WWW.INESCO.COM.AU

APPROVED	PB	DATE	22.10.2020
CHECKED	PB	DATE	22.10.2020
DRAWN BY	PB		
CHECKED BY	YH		
DATE			
SCALE	AS SHOWN		

PROJECT

7792 Mill Post Creek
 Naturalisation

DRAWING TITLE	
LANDSCAPE DETAILS	
SHEET 1 OF 3	
PROJECT NO.	7792
DRAWING NO.	L600
SHEET	1



RECEIVED IN Records Queanbeyan-Palerang Regional Council	
28 AUG 2020	
Document No.	File No.
Document Scanned? <input type="checkbox"/> Yes	

Queanbeyan Palerang Regional Council
256 Crawford Street
QUEANBEYAN NSW 2620

Attention Patrick Williams Natural and Built Character Section

**RE: DA 2020 1307 -SPORTS HUB PART LOT 2 DP 1137743
BUNGEDORE OBJECTION TO PROPOSED
DEVVELOPMENT**

Dear Patrick,

[REDACTED] borders the land subject to DA 2020 1307 [REDACTED]. We have major concerns about the impact this proposal will have on [REDACTED] property and *object* to the proposal to carry out flood mitigation works that will increase flooding on [REDACTED] property.

We also object to the proposed development in its present form because it does not make adequate arrangements to protect the existing environment of [REDACTED] Cottage with respect to privacy, light pollution, security, and construction noise, and dust.

[REDACTED] detailed concerns are set out below.

Flood Levels

Even using the preferred 'Option 4' Councils modelling has an increased amount of water redirected though [REDACTED] properties adjacent paddock. The word 'acceptable' seems ignorant of some facts.

This paddock has for over 100 years been used as the [REDACTED] Heifer Paddock. This means each winter [REDACTED] we keep all [REDACTED] first calf heifers in this paddock while they are calving so their progress can be checked twice daily. If a problem arises, cow and calf can be easily moved to [REDACTED] yards located nearby on [REDACTED]

Any increase in water flow to this paddock and the after effects of accessibility will be problematic for [REDACTED] cattle business. The increase of water to this paddock during the traditional winter wet (which is when we calve) will hamper this essential process for [REDACTED] cattle business making access a lot more problematic for vehicles and possibly lead to an increase in the death rate of stock during wet periods.

In councils modelling of preferred 'Option 4' an even lager amount of water is to be redirected onto [REDACTED] 'Bullock Paddock' to the South West. This will reduce the capacity to run stock during wet periods as well and will result in an obvious loss of income for [REDACTED]

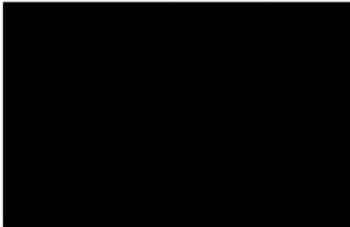
Privacy concerns

We have concerns for the privacy and security of [REDACTED] nearby [REDACTED] Cottage. This cottage is in a planted forest of trees and is extremely quiet and secluded. The 'Sports hub' that is proposed to be built is about 150m from this cottage and will greatly effect the privacy of this dwelling. During the construction stage the property will be greatly impacted by construction noise and dust. Once the construction is complete there will be a major increase in noise during usage including at night along with powerful lights that will greatly impact the privacy of residents in the cottage. We also have concerns about the security of the cottage as access to [REDACTED] land will become easier without secure fencing being erected on the boundary.

Tree guard Protection

It is essential that all care is taken to make sure [REDACTED] tree guards along [REDACTED] eastern boundary are not affected by any building and subsequent use of the proposed hub. [REDACTED] a well-established tree guard along this boundary that was specifically planted to hide the sewage works from view. [REDACTED] have concerns that by putting power lines within 10m of the trees on [REDACTED] property, into the future Essential Energy will want to lop [REDACTED] trees as they do in several other places on [REDACTED] property.

This is totally unacceptable to us.



DRAFT CONDITIONS OF CONSENT
DA.2020.1307

1. APPROVED DEVELOPMENT AND PLANS

The development referred to in the application is to be carried out in accordance with the approved plans and documents including the following:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Location Plan	Oxigen	Revision B dated 13/12/19	29/05/2020
Site Plan and Set Out	Oxigen	Revision B dated 13/12/19	29/05/2020
Floor Plan/Roof Plan	Oxigen	Revision B Dated 13/12/19	29/05/2020
Elevations	Oxigen	Revision B dated 13/12/19	29/05/2020
Landscape Plan	Oxigen	Revision A dated 19/05/20	29/05/2020
Erosion and sediment control Plan- Sheet 2	TTW	Revision B dated 05/12/19	8/06/20
Erosion and sediment control Plan- Sheet 3	TTW	Revision B dated 05/12/19	8/06/20
General Arrangement Plan	TTW	Revision B dated 05/12/19	8/06/20
Buk Earthworks Plan Sheet 2	TTW	Revision B dated 05/12/19	8/06/20
Bulk Earthworks Plan Sheet 3	TTW	Revision B dated 05/12/19	8/06/20
Site Works Plan Sheet 1	TTW	Revision B dated 05/12/19	8/06/20
Site Works Plan Sheet 2	TTW	Revision B dated 05/12/19	8/06/20
Site Works Plan Sheet 3	TTW	Revision B dated 05/12/19	8/06/20
Longitudinal Section	TTW	Revision B dated 05/12/19	8/06/20
Consolidated Site Works Plan Sheet 1	TTW	Revision B dated 05/12/19	8/06/20
Mill Post Creek Cover Sheet	Indesco	Revision B dated 20/11/20	23/11/20
Landscape legend and notes	Indesco	Revision B dated 20/11/20	23/11/20
Landscape General Arrangements Plan	Indesco	Revision B dated 20/11/20	23/11/20
Landscape Details Sheet 1 of 3	Indesco	Revision B dated 20/11/20	23/11/20
Landscape Details Sheet 2 of 3	Indesco	Revision B dated 20/11/20	23/11/20
Landscape Details Sheet 3 of 3	Indesco	Revision B dated 20/11/20	23/11/20

except as modified by any of the following conditions of consent.

Reason: Development is undertaken in accordance with this consent & is used for the approved purpose only.

SPECIAL CONDITIONS

2. Engineering

New pumped sewer main to discharge to existing sewer infrastructure with a new connection at the existing sewer manhole C/2 located adjacent to the south-west corner of the intersection of Molonglo and Malbon Street intersection.

In accordance with Water Services Association Australia Sewerage Pumping Station Code WSA 04-2005 all new rising mains up to and including 100mmØ shall be uPVC material pipe.

Reason: Sewer infrastructure undertaken in accordance with Water Services Association Australia standards.

3. Construction Access/'Back-Up' access

The construction access off Bungendore Road is to be maintained after the completion of the project for the purpose of a 'back up' access. This access is to be opened at the discretion of Council and used purely as an alternative to the Malbon Street access.

Reason: To ensure compliance with guidelines from TfNSW(RMS) and to allow other means of access in case of emergency/increased demand.

4. SPECIAL CONDITIONS

GENERAL TERMS OF APPROVAL

The development must be carried out in accordance with the General Terms of Approval provided by Department of Primary Industries- NSW Fisheries dated 2 December 2020 and attached in Schedule 1 of this consent.

Reason: To comply with the Fisheries NSW requirements.

GENERAL CONDITIONS

5. Obtain Construction Certificate

Obtain a construction certificate from Queanbeyan-Palerang Regional Council, or an appropriately accredited private certifier before undertaking any building work. Forward a copy of any construction certificate issued by a private certifier to Queanbeyan-Palerang Regional Council at least two (2) days before undertaking any building work in accordance with that construction certificate.

Reason: Work is undertaken in accordance with this consent & relevant construction standards.

6. Dust Suppression

Undertake measures as appropriate, and/or respond to any Council direction to provide dust suppression on roads leading to, adjacent to and within the rehabilitation site in the event that weather conditions and construction traffic are giving rise to abnormal generation of dust.

Reason: To ensure that local residents and activities are not disadvantaged by dust during construction

7. Obtain Occupation Certificate

Do not occupy or use the premises until an occupation certificate has been issued by Queanbeyan-Palerang Regional Council or an appropriately accredited private certifier. Provide a copy of any occupation certificate, issued by a private certifier, to Queanbeyan-Palerang Regional Council no later than 2 days after the occupation certificate is issued.

Reason: Ensure that the building complies with relevant standards.

8. Comply with the Building Code of Australia

All work is to comply with the current edition of the Building Code of Australia.

Reason: All building work is carried out in accordance with relevant construction standards.

9. Imported Fill

All imported fill delivered to site shall be certified Virgin Excavated Natural Material (VENM) and Excavated Natural Material (ENM).

Reason: Only clean and non-contaminated fill is used on site.

CONDITIONS TO BE SATISFIED PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

10. Submit Flood Engineer's Certificate

Prior to the issue of any Construction Certificate (Building) a certificate from a practicing structural engineer must be submitted to the Principal Certifying Authority to certify that;

- a) for a design criteria of 48 hours, ground saturation forces transmitted by the structure to the ground can be withstood by the foundations and ground conditions existing during a flood event and,
- b) the design of the proposed works is structurally sound to withstand all flood events up to a least a 1% AEP flood.

Reason: To ensure the structural stability of the building during a flood event.

11. Water & Sewer Compliance Certificate - Design

Prior to the release of a Section 68 application for development works in accordance with the *Water Management Act 2000* must be obtained from Council.

A water and sewer compliance certificate is to be applied for in conjunction with application for Section 68 application.

Reason: To ensure that the hydraulic design is in accordance with the relevant Design and Construction specifications.

12. Submit a Construction Management Plan

Prior to release of any Construction Certificate a Construction Management Plan for the management of soil, water, vegetation, waste, noise, vibration, dust, hazards and risk for the construction works must be submitted to, and endorsed by, Council. The plan must;

- a) describe the proposed construction works and construction program and,
- b) set standards and performance criteria to be met by the construction works and,
- c) describe the procedures to be implemented to ensure that the works comply with the standards and performance criteria and,
- d) identify procedures to receive, register, report and respond to complaints and,
- e) nominate and provide contact details for the persons responsible for implementing and monitoring compliance with the plans.

Reason: To ensure that satisfactory measures are in place to provide for environmental management of the construction works.

13. On-Site Detention System Design

Prior to Construction Certificate being issued, an on-site detention system design conforming to Council's Development Design specification shall be submitted to Council. The design shall be accompanied by a certification from a suitably qualified hydraulics engineer.

Reason: To ensure on site detention is designed in accordance with the Council's specification.

CONDITIONS TO BE SATISFIED PRIOR TO COMMENCEMENT OF WORKS

14. Appoint Principal Certifying Authority (Building)

Appoint a principal certifying authority before any work is undertaken. Provide details of the appointed principal certifying authority (if not Queanbeyan-Palerang Regional Council) to Queanbeyan-Palerang Regional Council at least two (2) days prior to any work being undertaken.

Reason: To provide for supervision of the building works.

15. Site Identification

The site where building work, subdivision work, or demolition work are proposed to be carried out shall be identified by a sign sited in a visually prominent position containing the following information;

- the development application number,
- name, address and telephone number of the principal certifying authority,
- name of the principal contractor (if any) and 24 hour contact telephone number, and
- a statement that "unauthorised entry to the work site is prohibited".

Reason: To satisfy the provisions of Clause 136B and 227A of the Environmental Planning and Assessment Regulation 2000.

16. Traffic Management

Prior to undertaking any works within a public road reserve or affecting the road reserve, a traffic management plan is to be submitted to and approved by Queanbeyan-Palerang Regional Council under Section 138 of the *Roads Act 1993*. Where occupancy of the road reserve is required, a Section 138 application shall accompany the Traffic Management Plan for Local Roads or an approved Road Occupancy Licence (ROL) from Transport for NSW (TfNSW) for State Roads.

Reason: To ensure that works carried out comply with the Roads Act.

17. Sediment and Erosion Control Plan

A Sediment and Erosion Control Plan (S&ECP) for all site works, including road works and access, is to be approved by the principal certifying authority prior to work commencing. The plan is to cover all measures to control erosion and sediment transport in accordance with the NSW Landcom publication *Managing Urban Stormwater -Soils and Construction* (4th Edition 2004- "Blue Book").

Erosion and sediment controls are to be in place before the disturbance of any soils on the site, and are to be maintained during the works and for as long as necessary after the completion to prevent sediment and dirty water leaving the site and/or entering the surface water system outside of the site.

Reason: To minimise environmental impact associated with any works & to prevent soil erosion/water pollution.

18. Sediment and Erosion Controls

Install and maintain sediment and erosion controls, prior to and during construction activities, in accordance with the approved Erosion and Sediment Control Plan, to prevent soil erosion, water pollution or the discharge of loose sediment on surrounding land, as follows:

- (a) divert uncontaminated run-off around cleared or disturbed areas,
- (b) erect a silt fence to prevent debris escaping into drainage systems or waterways,
- (c) prevent tracking of sediment by vehicles on roads, and
- (d) stockpile topsoil, excavated material, construction and landscaping supplies and debris within the site.

Reason: To minimise environmental impact associated with any works & to prevent soil erosion/water pollution.

19. Inspection and Test Plans

The Project Quality Plan shall include inspection and test plans detailing witness points covering at least the following aspects of the works. Witness points shall be signed off by the site foreman or other nominated to do so in the Project Quality Plan:

- installation of sediment and erosion control devices,
- site clearing,
- site regrading,
- preservation measures installed for trees and vegetation,
- culvert location and installation including preparation of base, bedding and backfill,
- earthworks including longitudinal drainage and subgrade preparation,
- pavement materials and construction,
- sealing where applicable,
- fencing, signs, guideposts and linemarkings installation.

Advice: If Queanbeyan-Palerang Regional Council is nominated principal certifying authority for the work include as a minimum the following hold points for inspection and release by the principal certifying authority:

- Culvert/drainage line location and bedding,
- Sewer main location and bedding,
- Water main location and bedding,
- Subgrade preparation prior to placement of pavement materials,
- Pavement prior to sealing,
- Final inspection of completed works.

Release of the above hold points prior to commencement of the next stage of the works will require that the work be acceptable on the basis of visual inspection by the Principal Certifying Authority and satisfactory test results supplied by the applicant's Project Superintendent.

Reason: To ensure that the works are carried in accordance with quality assurance principles.

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND/OR BUILDING WORKS

20. Hours of Operation for Works

All works associated with the construction and/or demolition of this development must be carried out between the following hours unless Queanbeyan-Palerang Regional Council agrees in writing. A written application shall be made to Queanbeyan-Palerang Regional Council if a variation of hours is required.

Weekdays:	7.00am to 6.00pm
Saturdays:	8.00am to 4.00pm
Sundays and Public Holidays:	NIL

Reason: To reduce the chance of offensive noise being created and to minimise the impacts of the development in its locality.

21. Approval Documents

Keep a copy of all stamped approved plans, specifications and documents on site while work is being undertaken.

Reason: Relevant documentation is available for perusal on site by a council officer, for compliance check.

22. Construction Facilities

Toilet facilities are to be provided at or in the close vicinity of the work site on which work involved in the erection or demolition of a building is being carried out.

Reason: To provide adequate facilities to the work site.

23. Unexpected Finds

The development is to proceed with caution. If any Aboriginal objects are found, works should stop and DECCW notified. If human remains are found work is to stop, the site is to be secured and the NSW Police and NSW Office of Environment and Heritage are to be notified.

Reason: To ensure objects discovered during construction are protected and notified in accordance with the Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales.

24. Imported Fill

All imported fill delivered to site shall be certified Virgin Excavated Natural Material (VENM) and Excavated Natural Material (ENM).

Reason: Only clean and non-contaminated fill is used on site.

25. Construction Waste Management

All waste materials generated on-site during construction are to be stored in enclosed containers and deposited in an approved landfill at regular periods.

Reason: To ensure adequate waste management practices are in place during the construction phase.

26. Construction Environmental Management Plan

The proponent shall prepare and submit an Construction Environmental Management Plan from a qualified environmental consultant, to the satisfaction of Council, which includes (but not limited to);

- Description of the construction site and the surrounding environment
- A list of responsible people for implementing or amending the CEMP, their responsibilities and contact details
- List of construction works needed to complete the project, with expected time frames
- Identification of any potential negative environmental impacts, and possible mitigation

strategies for those impacts

Reason: To ensure the proposal complies with the conditions of consent and minimises environmental impact during construction.

27. Maintenance of Erosion Control Measures

All measures to control erosion and sediment transport are to be maintained during the works in accordance with the NSW Landcom publication *Managing Urban Stormwater - Soils and Construction* (4th Edition 2004 - "Blue Book") and for as long as necessary after the completion to prevent sediment and dirty water leaving the site and/or entering the surface water system outside of the site.

Reason: To minimise environmental impact associated with any works & to prevent soil erosion/water pollution.

28. Works Sites to be Fenced

A fence must be erected between the development site and public places before commencement of any other work.

Reason: To ensure that an effective barrier is provided to preserve the safety of people and property in public places.

29. Temporary Vehicle Access

Temporary vehicle access to the site must be stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud or similar materials must be removed from the roadway by sweeping, shovelling, or a means other than washing, on a daily basis or as required. Soil washings from wheels must be collected and disposed of in a manner that does not pollute waters.

Reason: To minimise transfer of soil from the site onto the road pavement.

30. Storage of Dangerous Substances is Prohibited (Flooding)

The storage of the following substances in quantities, other than for isolated or occasional household purposes, is prohibited for this development;

Acetone	Celluloid	Magnesium
Ammonia	Chlorine	Nitric Acid
Benzine	Petrol	Phosphorus
Sodium	Sulphur	Potassium
Carbon Disulfide	Hydrochloric Acid	

Reason: To ensure that substances that are extremely vulnerable to flood conditions are not stored in quantities that will cause adverse impacts in the event of a flood as the land is located within a "designated flood" area as defined in Section B9 "Flood Planning" of Palerang Development Control Plan 2015.

31. Electrical Services in New Buildings (Flooding)

All electrical power connections, switch boards and transformers must be installed at a level above RL692.00mAHD.

Reason: To ensure the development is compatible with the flood risk of the area and to minimise damage to property that may occur in the event of flooding.

32. Equipment Storage below Flood Planning Level (Flooding)

All electrical and mechanical services and equipment that have to be installed below RL 692.00mAHD must conform to the following:

- *Equipment*

All electrical and mechanical equipment must be capable of disconnection by a single plug and socket assembly.

- *Services*

A sign, advising that electrical and mechanical services must be thoroughly cleaned or replaced and be checked by a qualified electrical contractor before commencement of reuse, must be installed in close

proximity to those services.

Reason: To ensure the development is compatible with the flood risk of the area and to minimise damage to property that may occur in the event of flooding.

33. Floor Level above the 1% AEP Flood Level (Flooding)

The floor level of the amenities building must be a minimum 300mm above the 1% AEP flood level (RL691.50mAHD) which for this allotment is at RL691.80mAHD. A survey plan that identifies the height of the finished ground floor must be prepared by a Registered Surveyor upon completion of the ground floor and then submitted to the Principal Certifying Authority.

Reason: To ensure that the floor level of the building is set at or above the 1% AEP flood level so as to minimise the risk of flood damage to the building and its occupants.

CONDITIONS TO BE SATISFIED PRIOR TO ISSUE OF OCCUPATION/COMPLETION CERTIFICATE

34. Occupation Certificate

The occupation certificate must not be issued until all conditions of consent have been satisfactorily complied with and all mandatory stage/required plumbing inspections undertaken. Plumbing and drainage must be inspected by Queanbeyan-Palerang Regional Council at the relevant stages of construction in accordance with the attached inspection schedule and a final plumbing certificate obtained prior to issue of any occupation certificate.

Reason: Development is safe & appropriate for occupation, and is completed in accordance with the consent.

35. Sewage Connection

Prior to completion connect the amenities block to Queanbeyan-Palerang Regional Council's sewerage infrastructure.

Reason: Premises are connected to available sewerage system.

36. Sewage Reflux Valve

A sewer reflux valve shall be fitted in accordance with AS/NZS 3500 - Plumbing and Drainage to the internal sewer drainage system upstream of the property boundary trap / shaft so as to prevent the backflow from the sewer from the authority's sewer entering the building.

Reason: To ensure the development is compatible with the flood risk of the area and to minimise damage to property that may occur in the event of flooding.

37. Colours and Material Finishes

The structures are to be finished in materials that have a low reflectivity. Colours are to incorporate the use of muted, natural colours that will blend with, rather than stand out from, the landscape for major features such as walls, roof and fencing. Zincolume is prohibited.

Reason: The building is not visually intrusive in the landscape and does not cause glare.

38. Lighting in Car Parks and Public Spaces

Lighting throughout the car parking area and in public spaces must comply with AS/NZS 2890.1:2004 - Parking Facilities - Off-Street Car Parking, and AS/NZS 1158 - Lighting for Roads and Public Spaces.

Any lighting provided for use during the event shall be designed and used so as not to cause a nuisance to other residences in the area or to motorists on nearby roads and to ensure no adverse impact on the amenity of the surrounding area by light overspill.

Reason: To ensure lighting used during activities on the site and surrounding area is not excessive and negatively impact on surrounding sensitive receptors. Whilst ensuring the provision of adequate lighting within the development.

39. Construction and Fitout Requirements

Food handling and storage areas must be constructed and fit out in accordance with:

- AS 4674-2004 - Construction and fit out of food premises
- AS/NZS 1668.2-2012 - The use of ventilation and air-conditioning in buildings - mechanical ventilation in buildings

Reason: To ensure safe and hygienic food preparation/storage and compliance with Food Act 2003 and Regulations 2015, Food Standards Code and relevant Australian Standards.

40. Plant and Equipment Noise

The noise level emanating from plant and equipment installed on the premises must not exceed a level of 5dB(A) above background level when measured for a LAeq 15 minute period during the day, evening or night.

Reason: To reduce the noise nuisance to residents and adjacent neighbours, also to comply with the Protection of the Environment Operations Act 1997 and Regulations.

41. Food premises inspection

Council's Environmental Health Officer must inspect and approve the construction and fit out of all food handling areas before an occupation certificate is issued.

Reason: To verify that the construction and fit out of the food premises complies with the Food Standards Code and relevant standards.

42. Stormwater Disposal Requirements

All stormwater from the site must be captured and piped to the street gutter/stormwater pit/other via an on-site detention system to limit the discharge from the site to the pre-development rate. A stormwater management plan demonstrating the maintaining the pre-development runoff flow for both 20% and 1% storm events is required in accordance with Council's D5 Stormwater Drainage Design specification, and provision for onsite stormwater detention (OSD) and water quality in accordance with Council's D7 Erosion Control and Stormwater Management Design specification and corresponding computer modelling.

Reason: To provide satisfactory stormwater management and disposal.

43. Car Parking to Comply with AS/NZS 2890

All car parks must comply with AS/NZS 2890.1-2004 Parking Facilities Off-Street Car Parking, AS/NZS 2890.6-2009 Off-Street Parking for People with Disabilities.

Pavement line marking with bay dimensions to comply with AS/NZS 2890.1-2004 and AS/NZS 2890.6-2009, must be shown within the car parking areas to delineate parking bays, including signage for the accessible parking bays.

Reason: To provide adequate off-street car parking.

44. Provide Water Service and Water Meter

A new main water meter and water service shall be installed by Council at no cost to the Council. The size of the meter and service shall be determined by a suitably qualified hydraulic consultant at no cost to Council.

The main meter shall be installed in an easily accessible position in the common property at the front of the site, or other accessible position approved by Council.

Reason: To ensure that the development is appropriately water metered.

Note: The water meter configuration is to be an 'In-Series water meter layout' as shown in Attachment A of Council's 'Water Meters and Water Supply Policy' - available on the Queanbeyan Palerang Regional Council website. Works as Executed - On-Site Detention System

Prior to Occupation Certificate, Work as Executed drawings of the constructed on site detention system certified by the designer are to be submitted to Council accompanied by evidence of restriction of land use of the land and positive covenant over the lot in favour of Council.

Reason: To ensure on site detention is constructed in accordance with the designed system and that its ongoing maintenance is enforceable by law.

45. Repair Damaged Public Property

All damage caused to public property during the establishment of the development must be repaired or reinstated prior to the issue of any Completion Certificate.

Reason: To ensure that all public property in the vicinity of the development is maintained in its pre-development condition.

46. Fire Safety Certificate

Prior to obtaining the final occupation certificate, provide the final fire safety certificate to Queanbeyan-Palerang Regional Council (and to the principal certifying authority if not Queanbeyan-Palerang Regional Council). A final fire safety certificate is a certificate issued by or on behalf of the owner of the premises to the effect that each essential fire safety measure specified in the current fire safety schedule for the building to which the certificate relates:

- a) has been assessed by a properly qualified person, and
- b) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued.

Note: The assessment of essential fire safety measures must have been carried out within the period of 3 months prior to the date on which a final fire safety certificate is issued

As soon as practicable after the final fire safety certificate is issued, the owner of the building to which it relates:

- a) must provide a copy of the certificate (together with a copy of the current fire safety schedule) to the Fire Commissioner, and
- b) must display a copy of the certificate (together with a copy of the current fire safety schedule) prominently displayed in the building.

Reason: To ensure compliance with the Environmental Planning and Assessment Regulation 2000.

47. Flood Management Plan

Prior to the issue of the any Completion Certificate a detailed Flood Management Plan, incorporating flood protection measures for goods and equipment must be submitted to, and endorsed by Council.

Reason: To protect goods and equipment in the event of a flood.

48. Works as Executed Plans of Dedicated Infrastructure

Provide one electronic copy (DWG or similar) and one PDF copy of works as-executed plans for any constructed infrastructure dedicated to Queanbeyan-Palerang Regional Council, showing any variations from the approved designs. The works as-executed plans are to be prepared in accordance with the requirements set out in Council's Design and Construction Specification.

Reason: To provide a record of works for future technical reference.

49. All Surfaces to be Concrete or Asphalt Surfaced

All parking spaces, loading bays, driveways and turning aisles must be concrete or asphalt surfaced, with all parking spaces line marked.

Reason: To ensure car parking spaces are functional prior to use of the premises.

50. Work in Accordance with Engineering Specifications

All construction and restoration work must be carried out strictly in accordance with the approved drawings and Council's Design and Construction Specifications.

Reason: To ensure construction and restoration work is in accordance with Council's requirements.

CONDITIONS TO BE SATISFIED DURING THE ONGOING USE OF THE PREMISES

51. Maintain Car Parking Areas and Driveway Seals

All sealed car parking areas, loading bays, manoeuvring areas and driveways must be maintained in a trafficable condition, including pavement line marking.

Reason: To ensure car park areas are useable.

52. Vehicle and Goods Storage Confined to the Site

All loading and unloading activities in connection with the development must be carried out wholly within the site and all goods and vehicles associated with the development must be accommodated wholly within the site.

Reason: To ensure free flow of vehicular and pedestrian traffic on the road and the verge.

53. Car Parking Spaces to be Kept Free at all Times

All car parking spaces, loading and unloading areas, vehicle manoeuvring and driveway areas must not be used for the storage of any goods or materials and must be available for their intended use at all times. The operator of the development must ensure that all vehicles associated with the development are parked within the site in the approved car parking area as line marked.

Reason: To ensure such areas are available for occupants and visitors of the site and parking on site is used for the development.

54. Noise Management Plan

The occupier of the premises is required to develop and maintain a noise management plan for the premises that addresses the following:

- Time restrictions on the use of facilities to limit noise impacts on nearby residents
- Control of music by users of the facilities
- Event notification requirements
- Complaint management processes

Reason: To minimise the impacts of noise on surrounding land.

55. Surface Water

Do not re-direct surface water onto adjoining private land. Alterations to the surface contours must not impede or divert natural surface water run-off, so as to cause a nuisance to adjoining property owners or create an erosion or sediment problem.

Reason: Stormwater disposal does not impact on the building or neighbouring properties.

56. Essential Fire Safety

The owner of the building must maintain each essential fire safety measure in the building premises to a standard no less than that specified in the schedule.

Reason: To ensure compliance with Environmental Planning and Assessment Regulation 2000.

57. Carry Out Sewer Work, Carry Out Water Supply Work, Carry Out Stormwater Work

All sanitary plumbing and drainage work is to be carried out in accordance with the requirements of the *Local Government (General) Regulation 2005, AS 3500 and the requirements of Plumbing and Drainage Act, 2011*. No alterations or additions are permitted without approval from Council.

Reason: All plumbing and drainage functions adequately.

Council must inspect the following stages of construction and installation:

- Internal and external plumbing and drainage,
- Final inspection of plumbing and drainage

The top level of the sewerage service yard gully shall be located a minimum of 150 mm below the lowest fixture level and a minimum of 75 mm above ground level. Where it is not practicable to locate the top of the yard gully 150 mm below the lowest fixture level or 75 mm above the surrounding ground level, then a reflux valve shall be fitted to the sewer drainage system so as to prevent the backflow from the sewer entering the building.

The sewer junction inspection opening is to be located and raised to ground level.

Reason: To ensure compliance with AS3500 - National Plumbing and Drainage Code and the requirements of Plumbing and Drainage Act, 2011.

A 'Notice of Work' (NoW) is to be issued to Queanbeyan-Palerang Regional Council no later than 2 business days before the work concerned is carried out.

Reason: Council is informed prior to undertaking inspections and in accordance with requirements of Plumbing and Drainage Act, 2011.

Licensees as the 'responsible person' must submit a Sewer Service Diagram(SSD) layout to Queanbeyan-Palerang Regional Council prior to or at the time of inspection.

Reason: Council records are kept up to date and requirements of Plumbing and Drainage Act, 2011.

A 'Certificate of Compliance' (CoC) is to be issued to the Queanbeyan-Palerang Regional Council and a copy to the person for whom the work is carried out on completion of the final inspection.

Reason: Council records are kept up to date and requirements of Plumbing and Drainage Act, 2011.

ACTIVITY APPROVAL - SECTION 68 OF LOCAL GOVERNMENT ACT 1993

58. Waste Water Reuse

Reclaimed water on-site is to be used in accordance with "NSW Guidelines for Urban and Residential Use of Reclaimed Water 1993 and the Australian Guidelines for Water Recycling: Managing Health and Environmental Risk, 2006.

Reason: To ensure that reclaimed water supplies used onsite maintain Public Health Standards.

Schedule 1



Your Ref: CNR-10666
Our Ref: IDA20/79

2 December 2020

Queanbeyan Palerang Regional Council
PO Box 42
NOWRA NSW 2541

Dear Sir/Madam

Proposal: CNR-10666 - Bungendore Sports Hub

Property: 9A Bungendore Road – Bungendore - Lot 2 DP1137743

Thank you for providing the further information requested by DPI Fisheries, a division of NSW Department of Primary Industries.

DPI Fisheries is responsible for ensuring that fish stocks are conserved and that there is no net loss of key fish habitats upon which they depend. To achieve this, the Department ensures that developments comply with the requirements of the *Fisheries Management Act 1994* (FM Act) (namely the aquatic habitat protection and threatened species conservation provisions in Parts 7 and 7A of the Act, respectively), and the associated *Policy and Guidelines for Fish Habitat Conservation and Management (2013 Update)*. In addition, DPI Fisheries is responsible for ensuring the sustainable management of commercial, recreational and Aboriginal cultural fishing, aquaculture and marine protected areas within NSW.

The proposed sporting complex footprint is located within and adjacent to a 4th order waterway, Mill Post Creek, with a proposed culvert crossing to Malbon Street along the 5th order waterway Halfway Creek.

The proposed use of box culverts to create a waterway crossing of Halfway Creek is supported by the Department, provided the culvert floor is recessed by a minimum of 100mm below the current bed level of the channel. The Department does not support the proposal to 'deepen the creek bottom for fish channel'. This is not required to facilitate fish passage, will result in a larger footprint of impact and destabilisation within the creek and will generate a requirement for ongoing dredging to maintain this area.

DPI Fisheries has reviewed the revised plans for the creek alignment, aquatic environmental assessment and proposed stream crossing provided on 23 November 2020 in accordance with the above provisions. The Department has no objections to Council issuing development consent, subject to the General Terms of Approval (GTAs) that follow. As per s.91A(3) of the *Environmental Planning and Assessment Act 1979*, any consent issued by Council must be consistent with these GTAs:

1. The proponent or contractor **must apply for and obtain a permit for dredging and reclamation under Part 7 of the FM Act** from DPI Fisheries prior to any works on site. Permit application forms are available from the Fisheries NSW website at: <http://www.dpi.nsw.gov.au/fisheries/habitat/help/permit>

NSW Department of Primary Industries
DPI Fisheries
Aquatic Ecosystems

4 Woollamia Road
PO Box 97
Huskisson NSW 2540

T: (02) 4428 3400
F: (02) 4441 8961
www.dpi.nsw.gov.au/fisheries

2. All works conform to and are consistent with the Mill Post Creek Design plans by Indesco dated 22 October 2020;
3. Environmental safeguards (e.g. silt curtains, sediment fences, booms etc.) are to be installed consistent with *"Managing Urban Stormwater: Soils and Construction"* (4th Edition Landcom, 2004, aka the Blue Book) to ensure that there is no escape of turbid plumes into the adjacent aquatic environment;
4. The box culvert crossing at halfway creek is to be recessed by a minimum of 100mm below the existing creek bed. The final design of the culvert is to be developed to minimise to foot print within the creek and provided to DPI Fisheries for endorsement. The proposed excavation to deepen the creek for fish channel is not required or supported.
5. DPI Fisheries (1800 043 536) is to be immediately notified of any fish kills in the vicinity of the development during construction. In such cases, all works other than emergency response procedures are to cease until the issue is rectified and written approval to proceed is provided by DPI Fisheries .

If you or the proponent require further information please do not hesitate to contact the department on (02) 4428 3007.

Yours sincerely



Jillian Reynolds
Fisheries Manager
Coastal Systems - South