



Ordinary Meeting of Council

9 March 2022

**UNDER SEPARATE COVER
ATTACHMENTS**

ITEMS 9.2 TO 14.1

**QUEANBEYAN-PALERANG REGIONAL COUNCIL
ORDINARY MEETING OF COUNCIL**

ATTACHMENTS – 9 March 2022 Page i

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QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

9 MARCH 2022

ITEM 9.2 DEVELOPMENT APPLICATION DA 54-2019 - CONSTRUCTION OF A PAVILION, REMOVAL OF 12 TREES, REPLACEMENT OF 15 TREES, NEW ACCESS AND PROPOSED ELECTRONIC PYLON SIGN - QUEANBEYAN SHOWGROUND - 19-41 FARRER PLACE QUEANBEYAN

ATTACHMENT 1 DA 54-2019 - ARCHITECTURAL PLANS - 19-41 FARRER PLACE QUEANBEYAN



Drawing List			
Sheet Number	Current Revision	Drawing Name	Date
DA000	E	COVER SHEET	07/08/2019
DA001	G	LOCATION PLAN	07/08/2019
DA002	F	SITE PLAN	07/08/2019
DA101	F	FLOOR PLAN	05/03/2021
DA201	E	ELEVATIONS	07/08/2019
DA202	E	ELEVATIONS	07/08/2019
DA210	E	SECTIONS	07/08/2019
DA501		DOOR / WINDOW SCHEDULES	

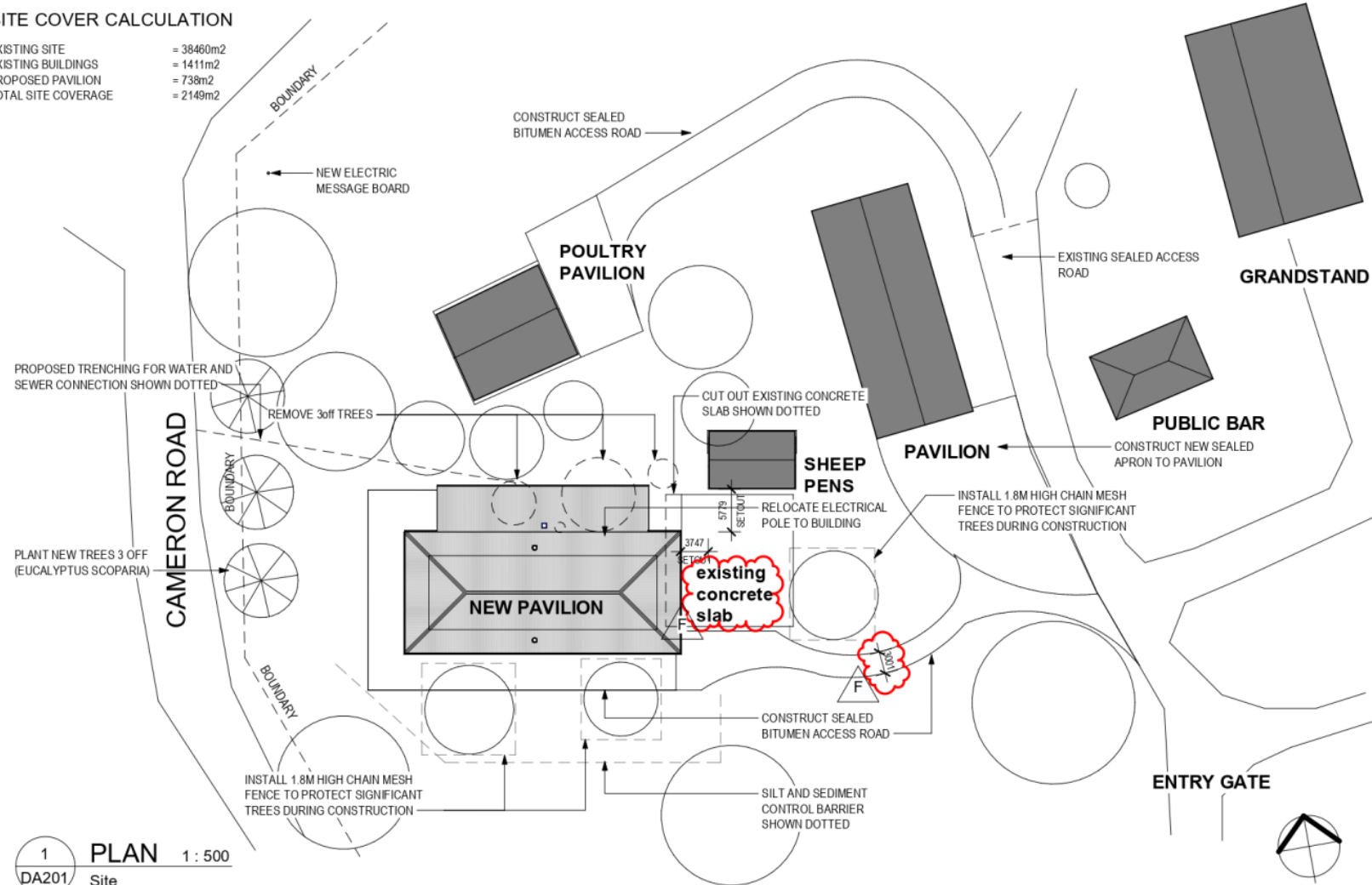
Exterior Finishes	
Roof Sheeting, Gutters, Downpipes, Window Frames and Doors: Colorbond Woodland Grey	
Walls: Main Colorbond Windspray	
Walls: Feature, and Exposed Rafters Colorbond Paperbark	

NEW PAVILION AT QUEANBEYAN SHOWGROUND

Lot 4, Section 56, DP758862, 19-41 Farrer Place, Queanbeyan

SITE COVER CALCULATION

EXISTING SITE = 38460m²
 EXISTING BUILDINGS = 1411m²
 PROPOSED PAVILION = 738m²
 TOTAL SITE COVERAGE = 2149m²



1 PLAN 1 : 500
 DA201 Site

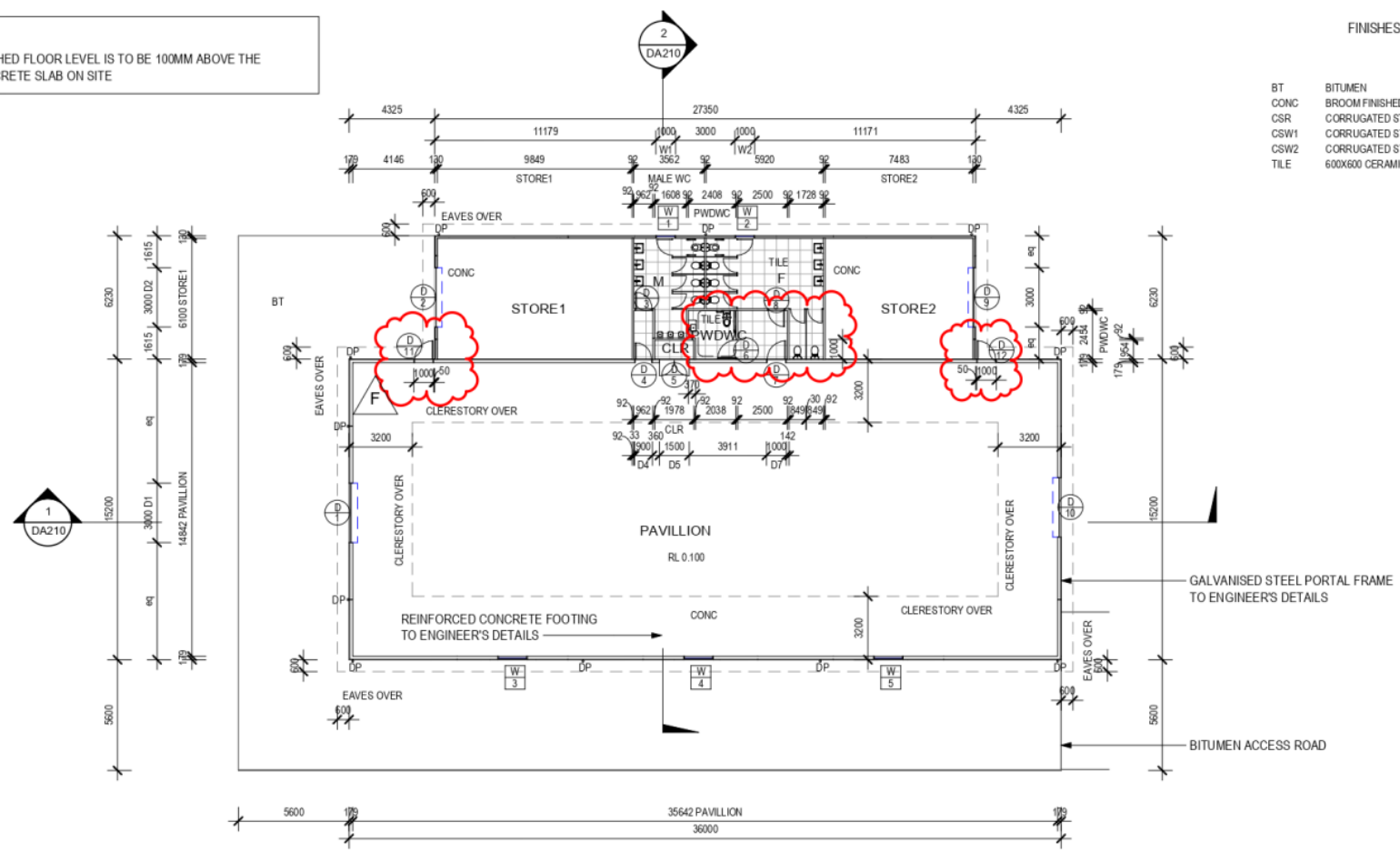
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<p>18/08/2021 5:11:26 PM</p> <p>AMENDMENTS A 22/05/2017 ISSUED FOR CLIENT REVIEW B 07/06/2017 ISSUED FOR CONSULTANT COORDINATION C 24/07/2017 ISSUED FOR CONSULTANT COORDINATION D 13/04/2018 ISSUED FOR CONSULTANT COORDINATION E 04/02/2019 ISSUED FOR DEVELOPMENT APPROVAL F 07/08/2019 REVISED ISSUE FOR DEVELOPMENT APPROVAL</p>	<p>ARCHITECT</p> <p>EMAA</p> <p>Eric Martin & Associates 10/68 Jardine Street KINGSTON ACT 2604 Ph 02 6260 6395 Fax 02 6260 6413 emaa@emaa.com.au Eric.Martin@emaa.com.au ACT 376 VIC 3150 NSW 2591 WA 1660 QLD 3391</p>	<p>CLIENT</p> <p>QUEANBEYAN PALERANG REGIONAL COUNCIL</p>	<p>PROJECT</p> <p>QUEANBEYAN SHOWGROUND PAVILION GLEBE AVENUE QUEANBEYAN</p>	<p>CADFILE</p> <p>V:\Projects 2016\16232 Queanbeyan Showgrounds Pavilion\H Documentation\DA16232_QbnShowGround\Pavilion_DA_A.rvt</p>	
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				<p>DATE</p> <p>11/05/2017</p>	<p>ISSUE/ REVISION</p> <p>DA F</p>
				<p>CHECKED</p> <p>EM</p>	<p>DWG No</p> <p>16232-DA002/F</p>

NOTE
 PAVILION FINISHED FLOOR LEVEL IS TO BE 100MM ABOVE THE EXISTING CONCRETE SLAB ON SITE

FINISHES LEGEND

- BT BITUMEN
- CONC BROOM FINISHED CONCRETE
- CSR CORRUGATED STEEL WOODLAND GREY
- CSW1 CORRUGATED STEEL WINDSPRAY
- CSW2 CORRUGATED STEEL PAPERBARK
- TILE 600X600 CERAMIC TILES



1 PLAN 1 : 200
DA201 GROUND FLOOR PLAN



NOTE: DO NOT SCALE OFF DRAWING

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AMENDMENTS	
A	22/05/2017 ISSUED FOR CLIENT REVIEW
B	07/06/2017 ISSUED FOR CONSULTANT COORDINATION
C	13/04/2018 ISSUED FOR CONSULTANT COORDINATION
D	04/02/2019 ISSUED FOR DEVELOPMENT APPROVAL
E	07/08/2019 REVISED ISSUE FOR DEVELOPMENT APPROVAL
F	05/03/2021 REVISED ISSUE FOR DEVELOPMENT APPROVAL

ARCHITECT
EMA A
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 10/68 Jardine Street KINGSTON ACT 2604
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 emaa@emaa.com.au
 Eric Martin Registered Architect
 ACT 276 VIC 3100 NSW 5991 WA 1663 QLD 3991

CLIENT
QUEANBEYAN PALERANG REGIONAL COUNCIL

PROJECT
QUEANBEYAN SHOWGROUND PAVILION
 GLEBE AVENUE QUEANBEYAN

DRAWING TITLE
FLOOR PLAN

CADFILE	
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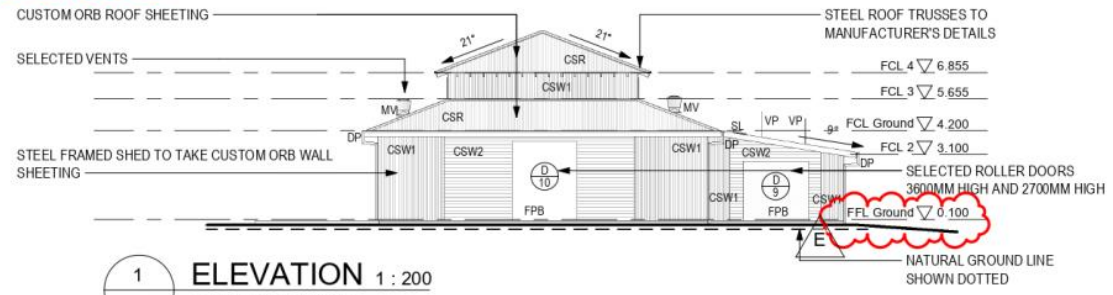
FINISHES LEGEND

BT	BITUMEN
CONC	BROOM FINISHED CONCRETE
CSR	CORRUGATED STEEL WOODLAND GREY
CSW1	CORRUGATED STEEL WINDSPRAY
CSW2	CORRUGATED STEEL PAPERBARK
TILE	600X600 CERAMIC TILES

LEGEND

DP	DOWNPIPE
MV	EXHAUST ROOF UNIT
SL	SKYLIGHT
VP	VENT PIPE

NOTE
 PAVILION FINISHED FLOOR LEVEL IS TO BE 100MM ABOVE THE EXISTING CONCRETE SLAB ON SITE



1 ELEVATION 1 : 200
 EAST ELEVATION



2 ELEVATION 1 : 200
 NORTH ELEVATION

NOTE: DO NOT SCALE OFF DRAWING

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<p>AMENDMENTS</p> <p>A 22/05/2017 ISSUED FOR CLIENT REVIEW</p> <p>B 07/06/2017 ISSUED FOR CONSULTANT COORDINATION</p> <p>C 13/04/2018 ISSUED FOR CONSULTANT COORDINATION</p> <p>D 04/02/2019 ISSUED FOR DEVELOPMENT APPROVAL</p> <p>E 07/08/2019 REVISED ISSUE FOR DEVELOPMENT APPROVAL</p>	<p>ARCHITECT</p> <p>EMAA</p> <p>Eric Martin & Associates 10/68 Jardine Street KINGSTON ACT 2604 Ph 02 6260 6395 Fax 02 6260 6413 emaa@emaa.com.au Eric Martin & Associates ACT 276 VIC 3150 NSW 9591 WA 1663 QLD 3991</p>	<p>CLIENT</p> <p>QUEANBEYAN PALERANG REGIONAL COUNCIL</p>	<p>PROJECT</p> <p>QUEANBEYAN SHOWGROUND PAVILION GLEBE AVENUE QUEANBEYAN</p>	<p>CADFILE</p> <p>V:\Projects 2016\16232 Queanbeyan Showgrounds Pavilion\H Documentation\DA\16232_QbnShowgroundPavilion_DA_A.rvt</p>	
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NOTE

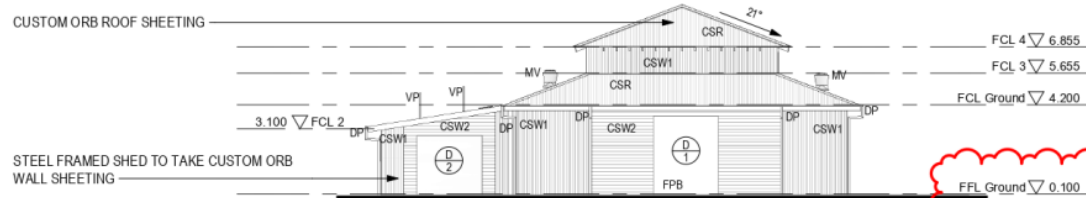
PAVILION FINISHED FLOOR LEVEL IS TO BE 100MM ABOVE THE EXISTING CONCRETE SLAB ON SITE

FINISHES LEGEND

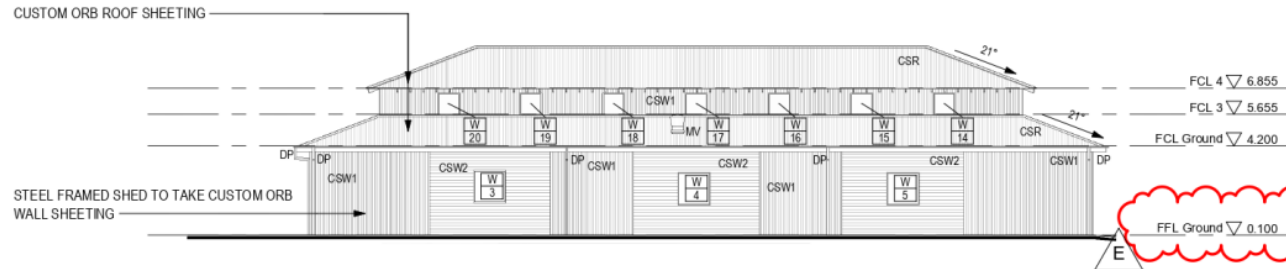
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CONC	BROOM FINISHED CONCRETE
CSR	CORRUGATED STEEL WOODLAND GREY
CSW1	CORRUGATED STEEL WINDSPRAY
CSW2	CORRUGATED STEEL PAPERBARK
TILE	600X600 CERAMIC TILES

LEGEND

DP	DOWNPIPE
MV	EXHAUST ROOF UNIT
SL	SKYLIGHT
VP	VENT PIPE



2 ELEVATION 1 : 200
WEST ELEVATION

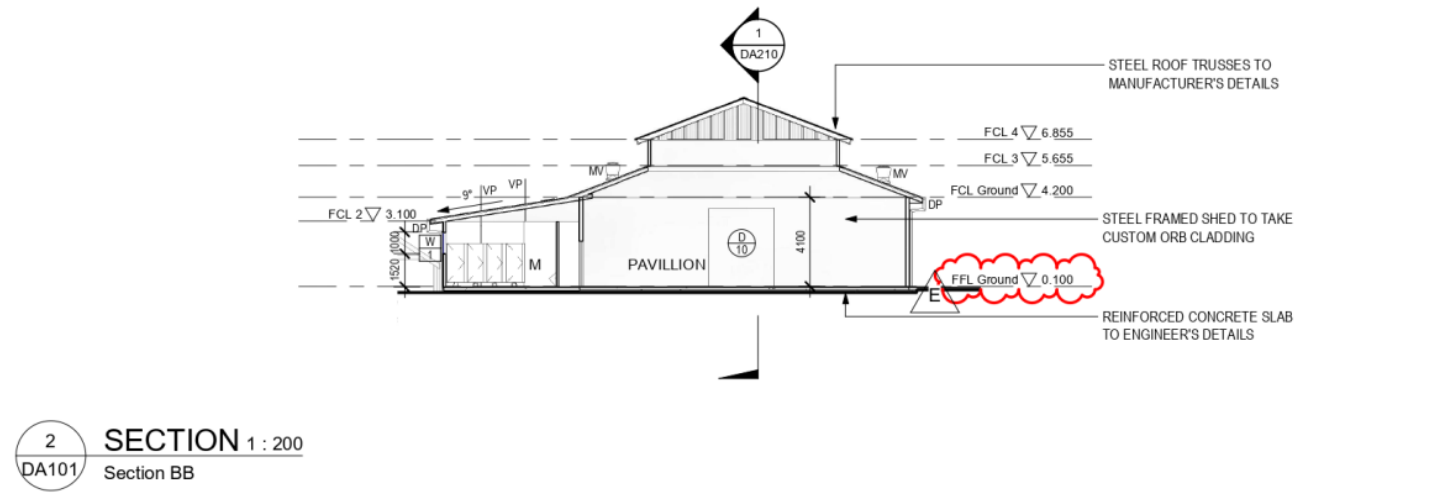
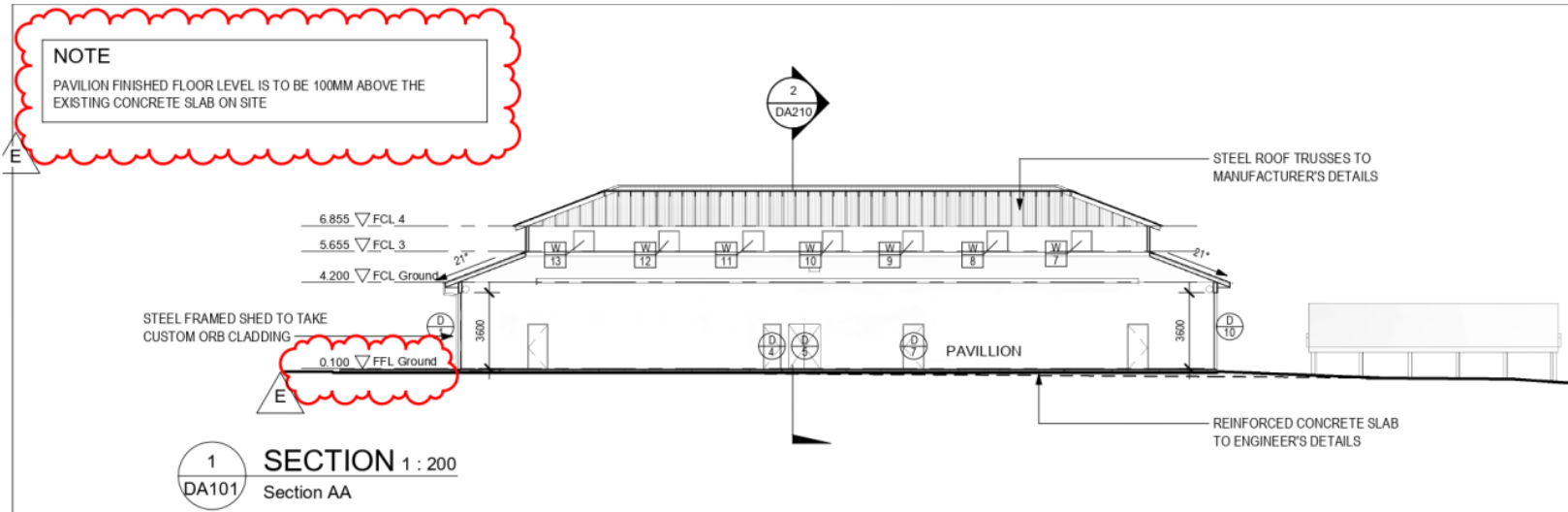


1 ELEVATION 1 : 200
SOUTH ELEVATION

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<p>AMENDMENTS</p> <p>A 22/05/2017 ISSUED FOR CLIENT REVIEW</p> <p>B 07/06/2017 ISSUED FOR CONSULTANT COORDINATION</p> <p>C 13/04/2018 ISSUED FOR CONSULTANT COORDINATION</p> <p>D 04/02/2019 ISSUED FOR DEVELOPMENT APPROVAL</p> <p>E 07/08/2019 REVISED ISSUE FOR DEVELOPMENT APPROVAL</p>	<p>ARCHITECT</p> <p>EMAA</p> <p>Eric Martin & Associates 10/68 Jardine Street KINGSTON ACT 2604 Ph 02 6260 6395 Fax 02 6260 6413 emaa@emaa.com.au Eric Martin & Associates ACT 376 VIC 3100 NSW 9991 WA 1563 QLD 3391</p>	<p>CLIENT</p> <p>QUEANBEYAN PALERANG REGIONAL COUNCIL</p>	<p>PROJECT</p> <p>QUEANBEYAN SHOWGROUND PAVILION GLEBE AVENUE QUEANBEYAN</p>	<p>CADFILE</p> <p>V:\Projects 2016\16232 Queanbeyan Showgrounds Pavilion\H Documentation\DA\16232_Qbn>Showground\Pavilion_DA_A.rvt</p>			
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AMENDMENTS A 22/05/2017 ISSUED FOR CLIENT REVIEW B 07/06/2017 ISSUED FOR CONSULTANT COORDINATION C 13/04/2018 ISSUED FOR CONSULTANT COORDINATION D 04/02/2019 ISSUED FOR DEVELOPMENT APPROVAL E 07/08/2019 REVISED ISSUE FOR DEVELOPMENT APPROVAL	ARCHITECT EMAA Eric Martin & Associates 10/68 Jardine Street KINGSTON ACT 2604 Ph 02 6260 6395 Fax 02 6260 6413 emaa@emaa.com.au Eric Martin & Associates ACT 276 VIC 3150 NSW 9591 WA 160 QLD 3391	CLIENT QUEANBEYAN PALERANG REGIONAL COUNCIL	PROJECT QUEANBEYAN SHOWGROUND PAVILION GLEBE AVENUE QUEANBEYAN	CADFILE V:\Projects 2016\16232 Queanbeyan Showgrounds Pavilion\H Documentation\DA16232_QbnShowGroundPavilion_DA_A.rvt		
				DRAWING TITLE SECTIONS	SCALE 1:200@A3	DRAWN CE

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DOOR SCHEDULE					
If	Mark	Height	Width	Family and Type	Scheduled
FFL Ground					
D	1	3600	3000	Doors_EMAA_Garage_Roller: 3000x3600h	SCHEDULED
D	2	2700	3000	Doors_EMAA_Garage_Roller: 3000x2700h	SCHEDULED
D	4	2100	900	Doors_EMAA_Hinged_Single_Solid_Instance: As Scheduled	SCHEDULED
D	5	2100	1500	Doors_EMAA_Hinged_Double_Solid_FrameLess_Instance: As Scheduled	SCHEDULED
D	7	2100	1000	Doors_EMAA_Hinged_Single_Solid_Instance: As Scheduled	SCHEDULED
D	9	2700	3000	Doors_EMAA_Garage_Roller: 3000x2700h	SCHEDULED
D	10	3600	3000	Doors_EMAA_Garage_Roller: 3000x3600h	SCHEDULED
D	11	2100	1000	Doors_EMAA_Hinged_Single: 1000x2100 Solid	SCHEDULED
D	12	2100	1000	Doors_EMAA_Hinged_Single: 920x2100 Solid	SCHEDULED
Grand total: 9					

WINDOW SCHEDULE				
Comments	Mark	Width	Height	Remarks
FFL Ground				
W	1	1000	1000	EXTERIOR
W	2	1000	1000	EXTERIOR
W	3	1500	1500	EXTERIOR
FCL Sheep Pen				
W	4	1500	1500	EXTERIOR
W	5	1500	1500	EXTERIOR
FCL 3				
W	7	1000	1000	EXTERIOR
W	8	1000	1000	EXTERIOR
W	9	1000	1000	EXTERIOR
W	10	1000	1000	EXTERIOR
W	11	1000	1000	EXTERIOR
W	12	1000	1000	EXTERIOR
W	13	1000	1000	EXTERIOR
W	14	1000	1000	EXTERIOR
W	15	1000	1000	EXTERIOR
W	16	1000	1000	EXTERIOR
W	17	1000	1000	EXTERIOR
W	18	1000	1000	EXTERIOR
W	19	1000	1000	EXTERIOR
W	20	1000	1000	EXTERIOR



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					DATE 03/03/2021	ISSUE/ REVISION DA A
					CHECKED EM	DWG No 16232-DA501/A

PRELIMINARY

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

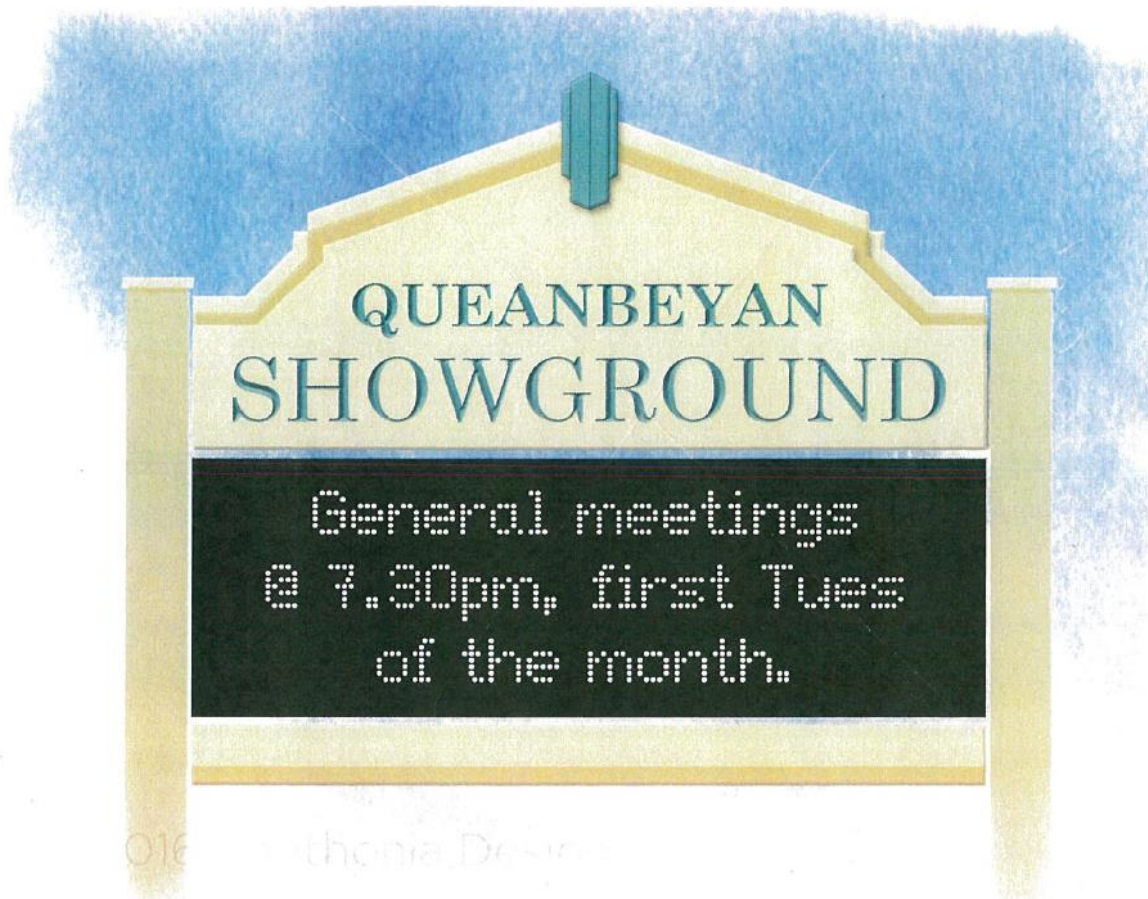
9 MARCH 2022

ITEM 9.2 DEVELOPMENT APPLICATION DA 54-2019 - CONSTRUCTION OF A PAVILION, REMOVAL OF 12 TREES, REPLACEMENT OF 15 TREES, NEW ACCESS AND PROPOSED ELECTRONIC PYLON SIGN - QUEANBEYAN SHOWGROUND - 19-41 FARRER PLACE QUEANBEYAN

ATTACHMENT 2 DA 54-2019 - SHOWGROUND ELECTRONIC MESSAGE BOARD - 19-41 FARRER PLACE QUEANBEYAN

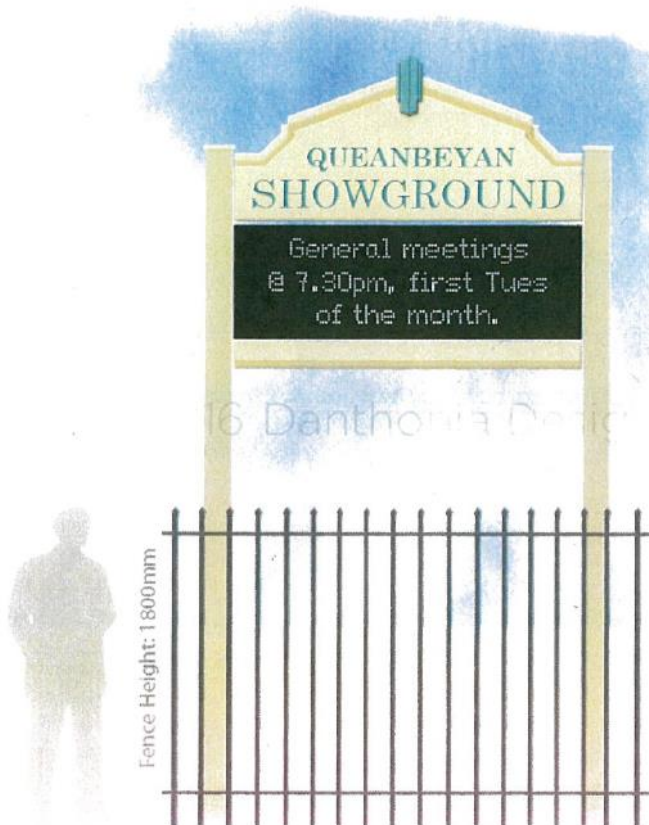
Design Detail

24217-1 Queanbeyan CC Showground LED Sign Revision 1



Design Specifications



24217-1 Queanbeyan Showground Revision 1



Specifications (mm)

Sign Panel:	1920 x 935
Sub Panel:	1920 x 150
LED (P16 White):	1920 x 640
Posts:	150 x 3800
Underclearance:	2580
Pylon Spacing (Inside):	1940
Overall Width:	2240
Overall Height:	4350
Legible Distance:	40m (Queanbeyan) 60m (Showground)
Sides:	Single-sided

Colours

	Dulux Pale Oriental
	Dulux Mill Flour
	Dulux Coastal Fringe
	Dulux Blue Mercury
	Colorbond Classic Cream

Sides:	1	Lighting:	None
Quantity:	1	Frangibility:	Not Frangible
Coatings:	Anti-Graffiti	LED Specs:	P16 White
Installation:	Client to arrange installation	Communication:	3G
Lead Time:	3 weeks	Unit Fabrication Price:	\$15,681.00 (Excl. GST)

Notes:

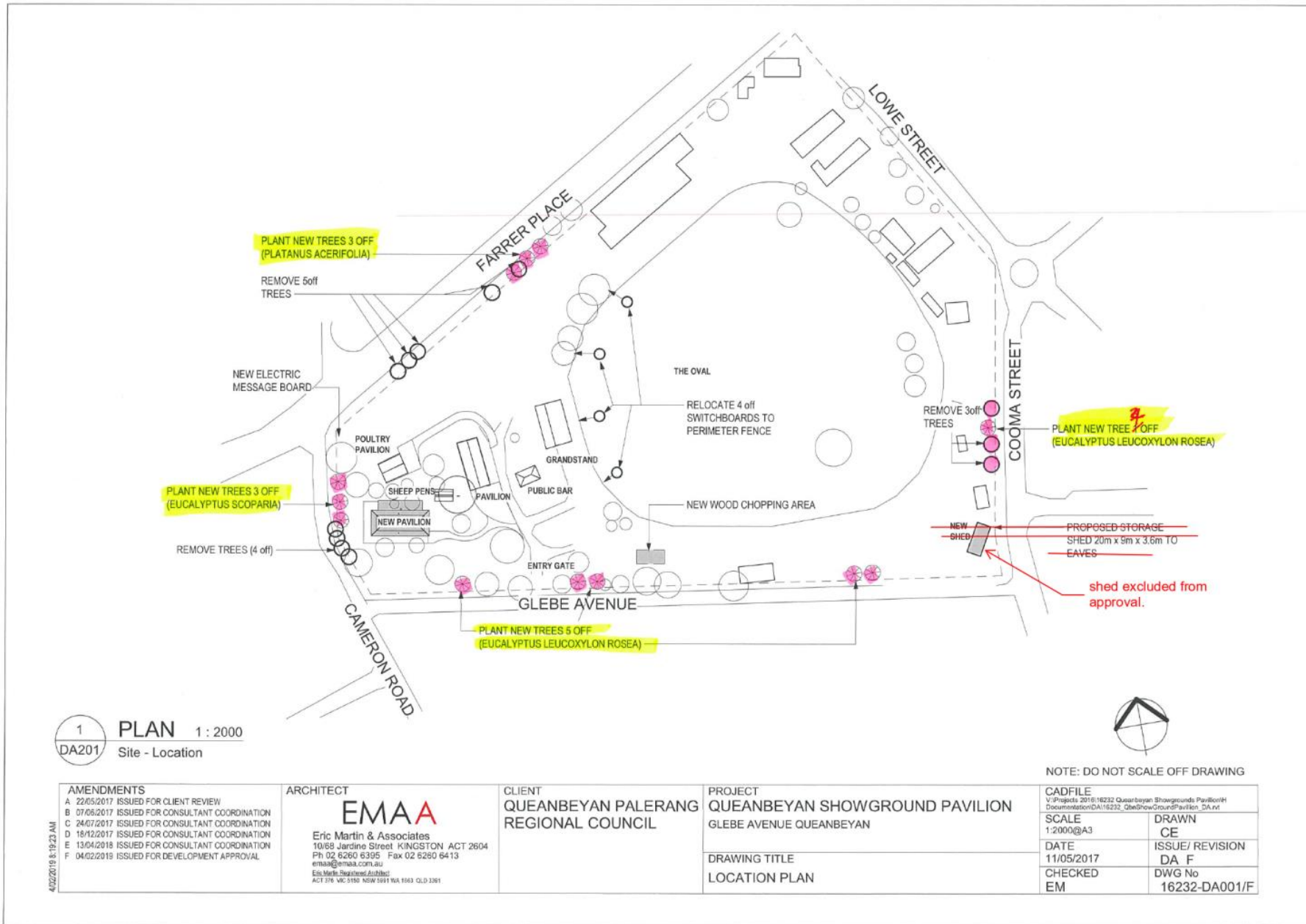
QUEANBEYAN-PALERANG REGIONAL COUNCIL

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ATTACHMENT 3 DA 54-2019 - SITE PLAN - 19-41 FARRER PLACE QUEANBEYAN



1 PLAN 1 : 2000
 DA201 Site - Location

4/02/2019 8:19:23 AM

AMENDMENTS	
A	22/05/2017 ISSUED FOR CLIENT REVIEW
B	07/06/2017 ISSUED FOR CONSULTANT COORDINATION
C	24/07/2017 ISSUED FOR CONSULTANT COORDINATION
D	18/12/2017 ISSUED FOR CONSULTANT COORDINATION
E	13/04/2018 ISSUED FOR CONSULTANT COORDINATION
F	04/02/2019 ISSUED FOR DEVELOPMENT APPROVAL

ARCHITECT
<p>EMA Eric Martin & Associates 10/68 Jardine Street KINGSTON ACT 2604 Ph 02 6260 6395 Fax 02 6260 6413 emaa@ema.com.au Eric Martin Registered Architect ACT 376 VIC 5150 NSW 5891 WA 1163 QLD 1361</p>

CLIENT
<p>QUEANBEYAN PALERANG REGIONAL COUNCIL</p>

PROJECT
<p>QUEANBEYAN SHOWGROUND PAVILION GLEBE AVENUE QUEANBEYAN</p>
DRAWING TITLE
<p>LOCATION PLAN</p>

CADFILE	
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DATE	ISSUE/ REVISION
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CHECKED	DWG No
EM	16232-DA001/F

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QUEANBEYAN-PALERANG REGIONAL COUNCIL

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9 MARCH 2022

ITEM 9.2 DEVELOPMENT APPLICATION DA 54-2019 - CONSTRUCTION OF A PAVILION, REMOVAL OF 12 TREES, REPLACEMENT OF 15 TREES, NEW ACCESS AND PROPOSED ELECTRONIC PYLON SIGN - QUEANBEYAN SHOWGROUND - 19-41 FARRER PLACE QUEANBEYAN

ATTACHMENT 4 DA 54-2019 - DRAFT CONDITIONS OF CONSENT - 19-41 FARRER PLACE QUEANBEYAN

CONDITIONS OF CONSENT
54-2019

APPROVED DEVELOPMENT AND PLANS

1. Approved Development and Plans

The development referred to in the application is to be carried out in accordance with the approved plans and documents including the following:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Architectural Plans Sheet No. DA000 DA001 DA002 DA101 DA201 DA202 DA210 DA501 DA201 – Site Plan	EMAA	Various Dates	August 2021
Aboriginal Cultural Values Assessment Final Report	Waters Consultancy	July 2021	August 2021
Archaeological Testing Results and Aboriginal Cultural Heritage Assessment Report	Cultural Heritage Management Australia	July 2021	August 2021
Sign – Design Specifications	Danthonia Designs	N/A	April 2019

Except as modified by any of the following conditions of consent.

Reason: Development is undertaken in accordance with this consent & is used for the approved purpose only.

2. Comply with General Terms of Approval Issued by Heritage NSW

Comply with the General Terms of Approval issued by Heritage NSW on the 2 December 2021. As contained within Schedule 1.

Reason: To ensure compliance with the General Terms of Approval issued by Heritage NSW.

GENERAL CONDITIONS

3. Obtain Construction Certificate

Obtain a construction certificate from Queanbeyan-Palerang Regional Council or an appropriately accredited private certifier before undertaking any work. Forward a copy of any construction certificate issued by a private certifier to Queanbeyan-Palerang Regional Council at least 2 days before undertaking any work in accordance with that construction certificate.

Reason: Work is undertaken in accordance this consent & relevant construction standards.

4. Obtain Occupation Certificate

Do not occupy or use the premises until an occupation certificate has been issued by Queanbeyan-Palerang Regional Council or an appropriately accredited private certifier. Provide a copy of any occupation certificate, issued by a private certifier, to Queanbeyan-Palerang Regional Council no later than 2 days after the occupation certificate is issued.

Reason: Ensure that the building complies with relevant standards.

5. Comply with the Building Code of Australia

All work is to comply with the current edition of the Building Code of Australia.

Reason: All building work is carried out in accordance with relevant construction standards.

6. Construction within Boundaries

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

Reason: Approved works are to be contained wholly within the subject site.

7. Copy to Owner

A copy of this consent is to be provided to the owner.

Reason: To ensure the owner is aware of the requirements imposed under the consent.

8. Protection of Sewer and Stormwater Mains

Council's sewer/stormwater main affected by the development must be protected by extending footings below the invert of the main and implementing pier and beam construction that has been designed and certified by a practising structural engineer.

Reason: To ensure that public services are not damaged or otherwise impacted on by the development.

9. Unauthorised Use of Public Land

No building materials are to be stored or construction activities undertaken on public or adjoining land without prior written approval from Council.

Reason: To prevent unnecessary disturbance to public land.

10. Work on Adjoining Land is Limited

The verge and other adjoining lands must not be used for storage of materials or disturbed by construction activities except for:

- a) Installation of a temporary, stabilised construction access across the verge.
- b) Installation of services.
- c) Construction of an approved permanent verge crossing.

Reason: To minimise interference with the verge and its accessibility by pedestrians.

CONDITIONS TO BE SATISFIED PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

11. Water & Sewer Compliance Certificate - Design

Prior to the release of a Construction Certificate / Section 68 application for development works, a Certificate of Compliance in accordance with the *Water Management Act 2000* must be obtained from Council.

Under Section 306 of the *Water Management Act 2000* Council, as the case requires, may, as a precondition to the issuing a Certificate of Compliance, impose a requirement that a payment is made or works are carried out, or both, towards the provision of water supply and sewerage:

The Section 64 Sewer Contribution Rate is: \$12,395.40 (Queanbeyan East Zone)

The Section 64 Water Contribution Rate is: \$23,638.16 (Queanbeyan Zone)

Section 64 contributions shall be indexed in accordance with CPI annually.

Reason: To ensure that the hydraulic design is in accordance with the relevant Design and Construction specifications.

12. Protection of Council Sewer/Stormwater Easements

Prior to the issuing of a Construction Certificate (Building) structural plans must be provided to Council for concurrence as the sewer and water authority. The plans are to demonstrate that the footings of the structure will not be located within the zone of influence of Council's sewer and stormwater easements.

Reason: To allow for safe access and maintenance of services within the easements by Council personnel.

CONDITIONS TO BE SATISFIED PRIOR TO COMMENCEMENT OF WORKS

13. Appoint PCA (Building)

Appoint a principal certifying authority before any work is undertaken. Provide details of the appointed principal certifying authority (if not Queanbeyan-Palerang Regional Council) to Queanbeyan-Palerang Regional Council at least 2 days prior to any work being undertaken.

Reason: To provide for supervision of the subdivision works.

14. Site Identification

The site where building work, subdivision work, or demolition work are proposed to be carried out shall be identified by a sign sited in a visually prominent position containing the following information:

- the development application number,
- name, address and telephone number of the principal certifying authority,
- name of the principal contractor (if any) and 24-hour contact telephone number, and
- a statement that "unauthorised entry to the work site is prohibited".

Reason: To satisfy the provisions of Clause 136B and 227A of the Environmental Planning and Assessment Regulation 2000.

15. Sediment and Erosion Control Plan

A Sediment and Erosion Control Plan (S&ECP) for all site works, including road works and access, is to be approved by the principal certifying authority prior to work commencing. The plan is to cover all measures to control erosion and sediment transport in accordance with the NSW Landcom publication *Managing Urban Stormwater -Soils and Construction* (4th Edition 2004- "Blue Book").

Erosion and sediment controls are to be in place before the disturbance of any soils on the site, and are to be maintained during the works and for as long as necessary after the completion to prevent sediment and dirty water leaving the site and/or entering the surface water system outside of the site.

Reason: To minimise environmental impact associated with any works & to prevent soil erosion/water pollution.

16. Retain and Protect Trees within Site and on Adjoining Land

Trees nominated to be retained on the approved plans must be protected in accordance with 'AS4970-2009 Tree Protection on Development Sites' and the following measures:

- a) Ensure all documentation submitted for a Construction Certificate application details tree retention with the diameter and position of the trunk and canopy clearly and accurately shown on all relevant plans:
- b) During construction, ensure retained trees on the site or adjoining land (if impacted) are protected by cyclone/chain mesh fencing.

The fencing must:

- 1) extend around the drip line of the tree,
- 2) be a minimum of 1.8 metres high,
- 3) consist of a minimum of 4 panels,
- 4) be erected prior to commencement of any work, and
- 5) remain in place until all site works have been completed.

- c) Comply with the measures outlined within the approved Tree Management Plan (TMP) prepared by an AQF Level 5 Arborist (If applicable).

The principal Certifier must ensure compliance with these requirements, both on the plans, as well as on-site during construction, and prior to the issue of any Occupation Certificate.

Reason: To ensure that tree(s) are protected from damage during construction.

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND/OR BUILDING WORKS

17. Hours of Operation for Works

All works associated with the construction and/or demolition of this development must be carried out between the following hours unless Queanbeyan-Palerang Regional Council agrees in writing. A written application shall be made to Queanbeyan-Palerang Regional Council if a variation of hours is required.

Weekdays:	7.00am to 6.00pm
Saturdays:	8.00am to 4.00pm
Sundays and Public Holidays:	NIL

Reason: To reduce the chance of offensive noise being created and to minimise the impacts of the development in its locality.

18. Approval Documents

Keep a copy of all stamped approved plans, specifications, and documents on site while work is being undertaken.

Reason: Relevant documentation is available for perusal on site by a council officer, for compliance check.

19. Construction Facilities

Toilet facilities are to be provided at or in the close vicinity of the work site on which work involved in the erection or demolition of a building is being carried out.

Reason: To provide adequate facilities to the work site.

20. Unexpected Finds

The development is to proceed with caution. If any Aboriginal objects are found, works should stop and DECCW notified. If human remains are found work is to stop, the site is to be secured and the NSW Police and NSW Office of Environment and Heritage are to be notified.

Reason: To ensure objects discovered during construction are protected and notified in accordance with the Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales.

21. All Works to Be Confined to the Site

All demolition, excavation, backfilling, construction, and other activities associated with the development must:

- a) Be carried out entirely within the allotment boundaries unless otherwise approved by Council.
- b) Comply with the requirements of AS 2601-2001 - The demolition of structures.
- c) If within one metre of the verge, the site must be protected by a hoarding which must be erected prior to the commencement of the demolition works.
- d) Be kept clear of stormwater, sewer manholes and service easements on the site.
- e) Any gates must be installed so they do not open onto any footpath or adjoining land.

Reason: To ensure that all development activity associated with the development does not pose a hazard to life or property and that the effectiveness of public services is not impaired.

22. Demolition Works

The demolition of the existing building must be carried out in accordance with the:

- a) requirements of the SafeWork Authority of New South Wales,
- b) *NSW Work Health and Safety Act 2011*, and
- c) *Australian Standard AS 2601-2001: The Demolition of Structures*.

Reason: To ensure compliance with SafeWork and occupational health and safety requirements.

23. Construction Waste Management

All waste materials generated on-site during construction are to be stored in enclosed containers and deposited in an approved landfill at regular periods.

Reason: To ensure adequate waste management practices are in place during the construction phase.

24. Protection of Adjoining Structures

If any excavation associated with the erection or demolition of a building extends below the level of the base of the footings of a building on adjoining land, the person causing the excavation to be made:

- (a) must preserve and protect the building from damage, and
- (b) if necessary, must underpin and support the building in an appropriate manner, and
- (c) must, at least seven days before excavating, give notice of intention to do so to the owner of the adjoining and furnish particulars of the excavation to the owner of the building being erected or demolished, and
- (d) satisfy the requirements of SafeWork.

The owner of the adjoining land is not to be liable for any part of the cost of work carried out for the purposes of this clause, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

Reason: Excavations relating to building work do not pose a hazard to adjoining properties.

25. Excavation and Backfilling

All excavations and backfilling associated with the erection or demolition of a building must be executed in accordance with the requirements of SafeWork.

Reason: To ensure excavation does not impact on adjoining property and compliance with SafeWork requirements.

26. Works Sites to Be Fenced

A hoarding/fence must be erected between the development site and public places before commencement of any other work.

Reason: To ensure that an effective barrier is provided to preserve the safety of people and property in public places.

27. Temporary Vehicle Access

Temporary vehicle access to the site must be stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud or similar materials must be removed from the roadway by sweeping, shovelling, or a means other than washing, on a daily basis or as required. Soil washings from wheels must be collected and disposed of in a manner that does not pollute waters.

Reason: To minimise transfer of soil from the site onto the road pavement.

CONDITIONS TO BE SATISFIED PRIOR TO ISSUE OF OCCUPATION CERTIFICATE

28. Stormwater Disposal Requirements

All stormwater from buildings, hardstand areas and the driveway on the site must be disposed of by a connection to the existing stormwater system.

Reason: To provide a satisfactory standard of stormwater disposal.

29. Repair Damaged Public and Private Property

All damage caused to public and private property during the construction operations and associated activities must be repaired or reinstated prior to Council accepting any Certificate of Completion.

Reason: To ensure that all public and neighbouring private property in the vicinity of the development is maintained in its pre-development condition.

30. All Surfaces to be Concrete or Asphalt Surfaced

All parking spaces, loading bays, driveways and turning aisles must be concrete or asphalt surfaced, with all parking spaces line marked.

Reason: To ensure car parking spaces are functional prior to use of the premises.

PLUMBING AND DRAINAGE CONDITIONS – s68 Local Government Act 1993

31. Plumbing and Drainage Installation Regulations

Plumbing and drainage work must be carried out in accordance with the requirements of the Local Government (General) Regulation 2005, the Plumbing and Drainage Act 2011 and Regulations under that Act and with the Plumbing Code of Australia. Such work must be carried out by a person licensed by the NSW Department of Fair Trading.

Reason: This is a mandatory condition under the provisions of the Local Government (General) Regulation 2005.

32. Inspection of Plumbing and Drainage

Plumbing and Drainage must be inspected by Council at the relevant stages of construction in accordance with Council's inspection schedule.

Reason: To ensure compliance with the inspection requirements of Plumbing and Drainage Regulation 2012 and Council's inspection schedule.

CONDITIONS TO BE SATISFIED DURING THE ONGOING USE OF THE PREMISES

33. Remove Damaged or Obsolete Signs

The sign(s) allowed by this consent must be removed if the signage becomes obsolete or is in a state of disrepair.

Reason: To ensure that obsolete signs and signs in poor condition are not left on buildings.

34. No Advertising Signage to be Installed

This consent does not permit the erection/installation of any advertising signage at the premises.

Reason: To ensure advertising signage is not installed/erected on the premises.

35. Illuminated Signage

Any signage that is to be illuminated is to comply with AS/NZS 4282:2019 Control of the obtrusive effects of outdoor lighting.

Reason: To ensure signage does not result in any adverse impacts on adjoining sensitive land uses.

SCHEDULE 1 – General Terms of Approval – Heritage New South Wales



Our ref: DOC19/281914
 DOC21/740135

MJ Thompson
 Portfolio General Manager
 Queanbeyan-Palerang Regional Council
 PO Box 90
 Queanbeyan NSW 2620

Attention: Kaycee Dixon via Kaycee.Dixon-Hilder@gprc.nsw.gov.au; Alex Glouftsis via Alex.Glouftsis@gprc.nsw.gov.au

Dear Mr Thompson,

**HERITAGE COUNCIL OF NSW – GENERAL TERMS OF APPROVAL
 INTEGRATED DEVELOPMENT APPLICATION**

Address: Queanbeyan Showground
SHR item: 1890
Proposal: New Pavilion, Site works, utilities installation and landscaping
IDA application no: 54/2019, received 14 August 2019. Additional Information submitted April 2019; September 2019; August 2021, November 2021;

As delegate of the Heritage Council of NSW (the Heritage Council), I have considered the above integrated development application. In accordance with Section 4.47 of the *Environmental Planning and Assessment Act 1979*, the following general terms of approval are granted.

APPROVED DEVELOPMENT

1. Development must be in accordance with:

A: Amended architectural drawings prepared by EMAA as listed below provided with the CNR Clause 55 referral (confirmed by Council 26 November 2021):

Drawing No.	Title	Date	Rev
Project Title: Queanbeyan Showground pavilion			
16232 - DA000/E	Exterior Finishes (Cover Sheet)	7/8/2019	E
16232 - DA001/G	Location Plan	7/08/2019	G
16232 - DA002 FSP001	Site Plan	07/08/2019	F
16232 - DA101 FSP101	Floor Plan	5/03/2021	F
16232 - DA201 FSP201	Elevations	07/08/2019	E
16232 - DA202 FSP202	Elevations	07/08/2019	E
16232 - DA210 FSP210	Sections	07/08/2019	E
16232 -DA501/A	Door/Window Schedules	3/3/2021	A
16232-DA001 FSP	Tree Plan (Location Plan)	04/02/2019	F

Level 6, 10 Valentine Ave Parramatta NSW 2150 ■ Locked Bag 5020 Parramatta NSW 2124
 P: 02 9873 8500 ■ E: heritagemailbox@environment.nsw.gov.au

B: Statement of Heritage Impact for New Pavilion and Shed by EMAA Issue 2 dated 2 February 2019 (revised by Annexure D).

C: Queanbeyan Showground Proposed pavilion and pipeline trench Archaeological testing results and Aboriginal cultural heritage assessment report prepared by Cultural Heritage Management Australia dated 9 July 2021.

D: Revised SOHI Proposed New pavilion and electrical sign at Queanbeyan Showground prepared by CHMA dated 2021

E: Queanbeyan Showground: Aboriginal Cultural Values Assessment Final Report, prepared for Queanbeyan Palerang Regional Council by Waters Consultancy dated July 2021.

F: Appendices for ACHAR (and Testing report – Annexure B)

G: Native Title Applications

H: Evidence the shed has been deleted from the proposal Email received 1/12/2021 from Council.

EXCEPT AS AMENDED by the following general terms of approval:

2. SITE PROTECTION

Significant site elements are to be protected during site preparation and during the works from potential damage. Protection systems must ensure significant fabric, including landscape elements, are not damaged or removed by the project.

To ensure appropriate site protection the project shall include a detailed site induction for all contractors working on the project. The induction shall expressly identify the Aboriginal cultural heritage significance and Aboriginal archaeological values of the place in a culturally appropriate way. The Induction must include details of managing the unexpected discovery of human remains and unexpected heritage items during the works.

Reason: To ensure significant fabric including is protected during construction. An Induction will ensure the works

3. UNEXPECTED DISCOVERY OF HUMAN REMAINS

Prior to works commencing, the Proponent shall prepare and lodge with Heritage NSW, a protocol for managing the unexpected discovery of human remains during works at the site. The Protocol shall establish how to proceed in this instance including requirements for appropriate management given the significance of the Place, and be included in site induction for the project.

Reason: The site contains known burials. While testing has not identified there is a likelihood for significant archaeological deposits or human remains to be found in the areas of proposed works, this protocol will ensure should they be identified during works they are appropriately managed.

4. INTERPRETATION PLAN

An interpretation plan must be prepared in accordance with Heritage NSW publication 'Interpreting Heritage Places and Items Guidelines' (2005) and submitted for approval to the Heritage Council of NSW (or delegate) prior to the issue of a Construction Certificate. It must be implemented prior to the issue of an Occupation Certificate.

The interpretation plan must be prepared by an interpretation specialist and actively consult with the Aboriginal community involved in the Aboriginal community consultation for the project. The Plan must detail how information on the history and significant values of the Queanbeyan Showground will be provided for the public, including recommendations regarding public accessibility, signage, public art and an educational booklet for the site. The plan must identify the types, locations, materials, colours, dimensions, fixings and text of interpretive devices that will be installed as part of this project and a timeline for delivery.

Reason: The site is a significant Aboriginal cultural heritage landscape. Interpretation of these values is a key outcome and recommendation by the Aboriginal community.

5. ABORIGINAL ARCHAEOLOGY

Should any Aboriginal objects be uncovered by the work which are not covered by a valid Aboriginal Heritage Impact Permit, excavation or disturbance of the area is to stop immediately and Heritage NSW is to be informed in accordance with the National Parks and Wildlife Act 1974 (as amended). Works affecting Aboriginal objects on the site must not continue until the Department of Planning, Industry and Environment (DPIE) has been informed and the appropriate approvals are in place. Aboriginal objects must be managed in accordance with the National Parks and Wildlife Act 1974.

Reason: This is a standard condition to identify to the applicant how to proceed if Aboriginal objects are unexpectedly identified during works.

6. UNEXPECTED HISTORICAL ARCHAEOLOGICAL RELICS

The applicant must ensure that if unexpected archaeological deposits, relics or works not identified and considered in the supporting documents for this approval are discovered, work must cease in the affected area(s) and the Heritage Council of NSW must be notified. Additional assessment and approval may be required prior to works continuing in the affected area(s) based on the nature of the discovery.

Reason: This is a standard condition to identify to the applicant how to proceed if historical archaeological deposits or relics are unexpectedly identified during works.

7. COMPLIANCE

If requested, the applicant and any nominated heritage consultant may be required to participate in audits of Heritage Council of NSW approvals to confirm compliance with conditions of consent.

Reason: To ensure that the proposed works are completed as approved.

8. **SECTION 60 APPLICATION**

An application under section 60 of the Heritage Act 1977 must be submitted to, and approved by, the Heritage Council of NSW (or delegate), prior to work commencing.

Reason: To meet legislative requirements.

Advice

Section 148 of the *Heritage Act 1977* (the Act), allows people authorised by the Minister to enter and inspect, for the purposes of the Act, with respect to buildings, works, relics, moveable objects, places or items that is or contains an item of environmental heritage. Reasonable notice must be given for the inspection.

Right of Appeal

If you are dissatisfied with this determination, section 70A of the Act gives you the right of appeal to the Land and Environment Court.

If you have any questions regarding these general terms of approval for IDA 54/2019, please contact Felicity Barry, A/Senior Team Leader, Specialist Services, at Heritage NSW, on 9995 6914 or Felicity.Barry@environment.nsw.gov.au.

Yours sincerely



Sarah Jane Brazil
Senior Team Leader, Major Projects
Heritage NSW
Department of Premier and Cabinet
As Delegate of the Heritage Council of NSW

2 December 2021

Cc: Kym McNamara, DPIE E: Kym.McNamara@environment.nsw.gov.au
Mr Steven Meredith, DPC E: Steven.Meredith@environment.nsw.gov.au

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

9 MARCH 2022

ITEM 9.2 DEVELOPMENT APPLICATION DA 54-2019 - CONSTRUCTION OF A PAVILION, REMOVAL OF 12 TREES, REPLACEMENT OF 15 TREES, NEW ACCESS AND PROPOSED ELECTRONIC PYLON SIGN - QUEANBEYAN SHOWGROUND - 19-41 FARRER PLACE QUEANBEYAN

ATTACHMENT 5 DA 54-2019 - SECTION 4.15 ASSESSMENT REPORT - 19-41 FARRER PLACE QUEANBEYAN



Section 4.15 Assessment Report – Matters for Consideration - 54-2019

EXECUTIVE SUMMARY

The proposal is for:

1. An 8.9-metre-high pavilion to the west of the site with a proposed floor area of 701.147m² – Of this 534.312m² will be used as the pavilion, 61.53m² for bathrooms and 105.305m² for storage. Additionally, a sealed bitumen access connecting to the existing road will be provided and is approximately 588.8m² in area. A 263m² concrete slab will be constructed adjoining the new pavilion and existing sheep pens (See figure 1 below);

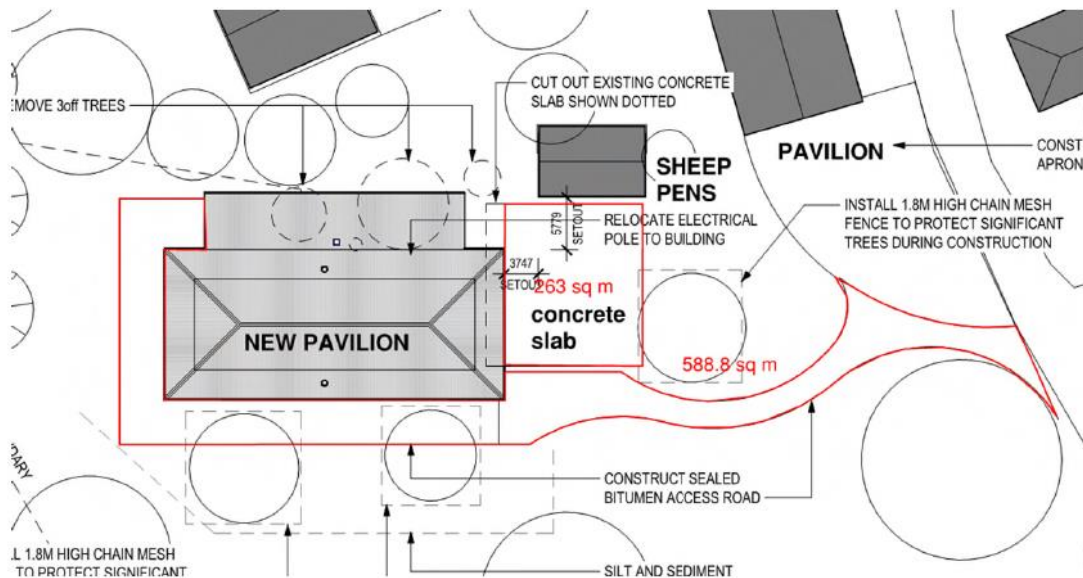


Figure 5: Proposed pavilion works

2. A 5.6-metre-high shed to the south of the site with a proposed floor area of 176.71m² (See Figure 6);

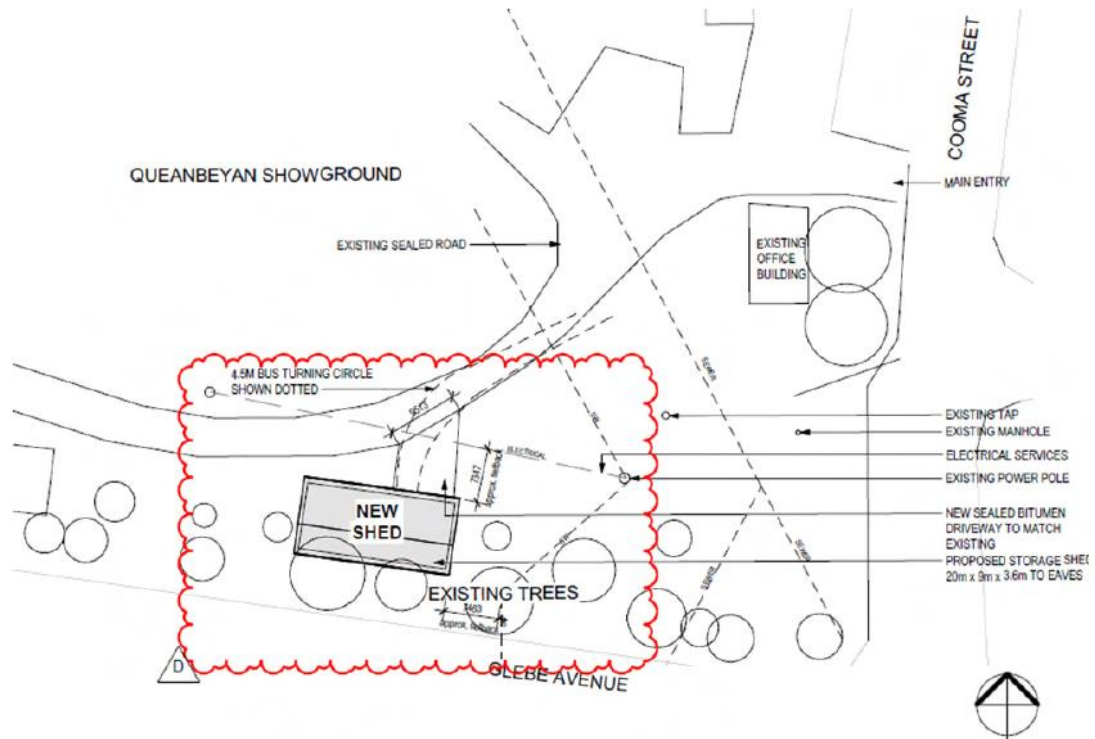


Figure 6: Proposed shed works (Shed now removed from DA)

3. Removal of 12 trees in total. They are located:
- 4 x Eucalyptus Scoparia to the west;
 - 2 x unknown to the north-west;
 - 3 x unknown to the south-west; and
 - 3 x trees to the north of the proposed pavilion.

These are proposed to all be replaced with:

- 5 x Eucalyptus Leucoxydon Rosea to the south;
- 4 x Eucalyptus Leucoxydon Rosea to the east;
- 3 x Platanus Acerifolia to the north; and,
- 3 x Eucalyptus Scoparia to the west.

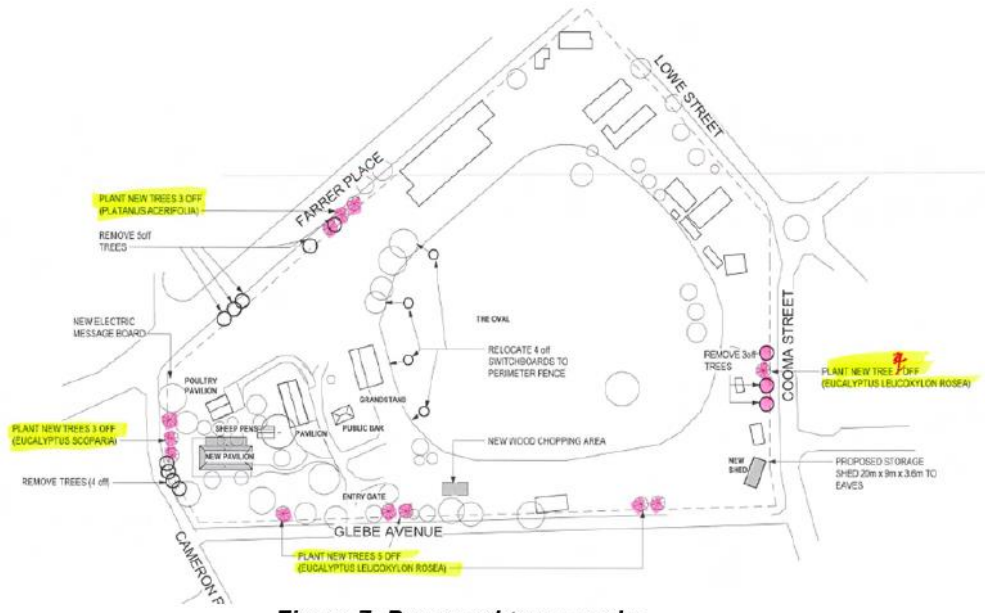


Figure 7: Proposed trees works

4. Electronic message board in the north-west corner of the site;

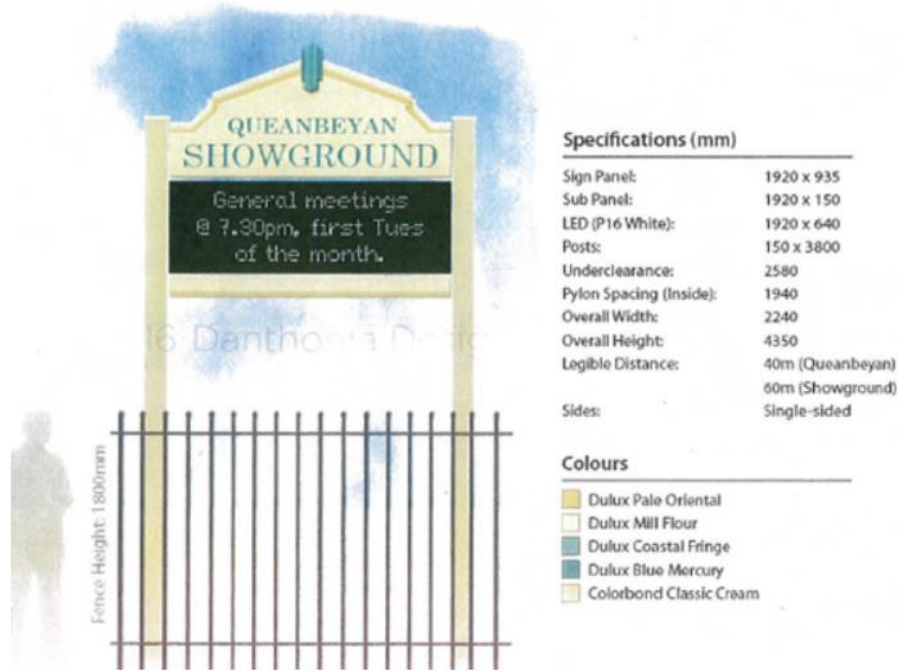


Figure 8: Proposed sign

5. Relocation of electrical pole and distribution board into the proposed pavilion;
6. Relocation of switchboards and poles in main oval to perimeter fence; and
7. New access roads to the:
 - Poultry pavilion – 555.3m²; and,
 - Existing pavilion - 455.2m².

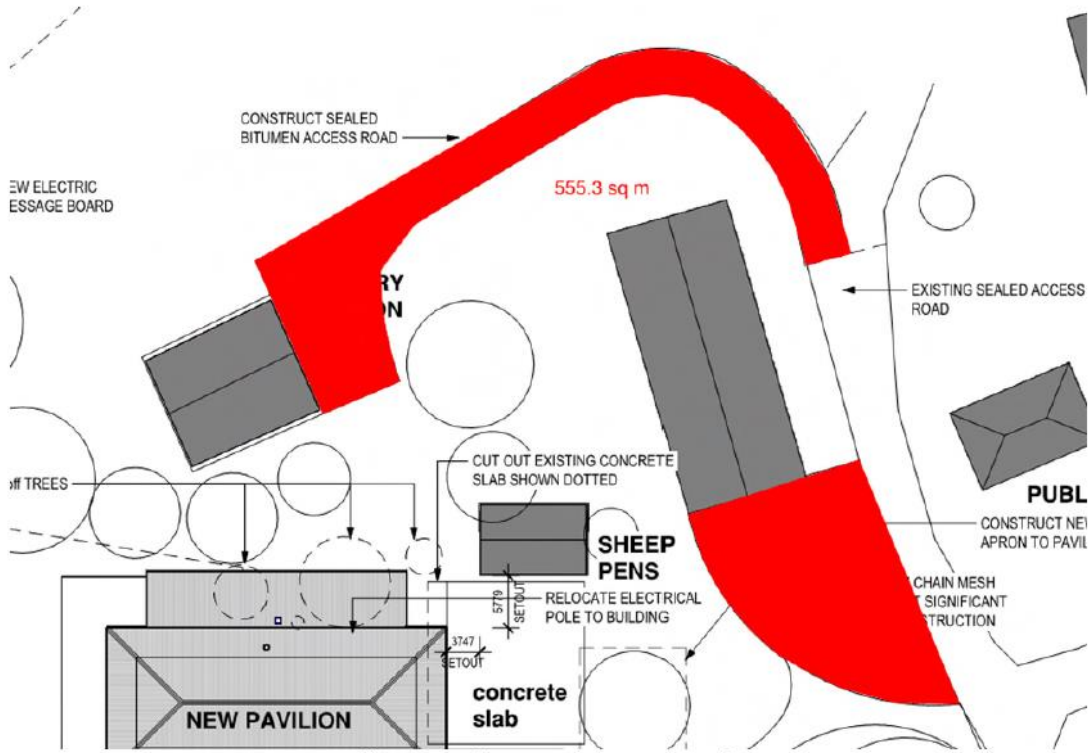
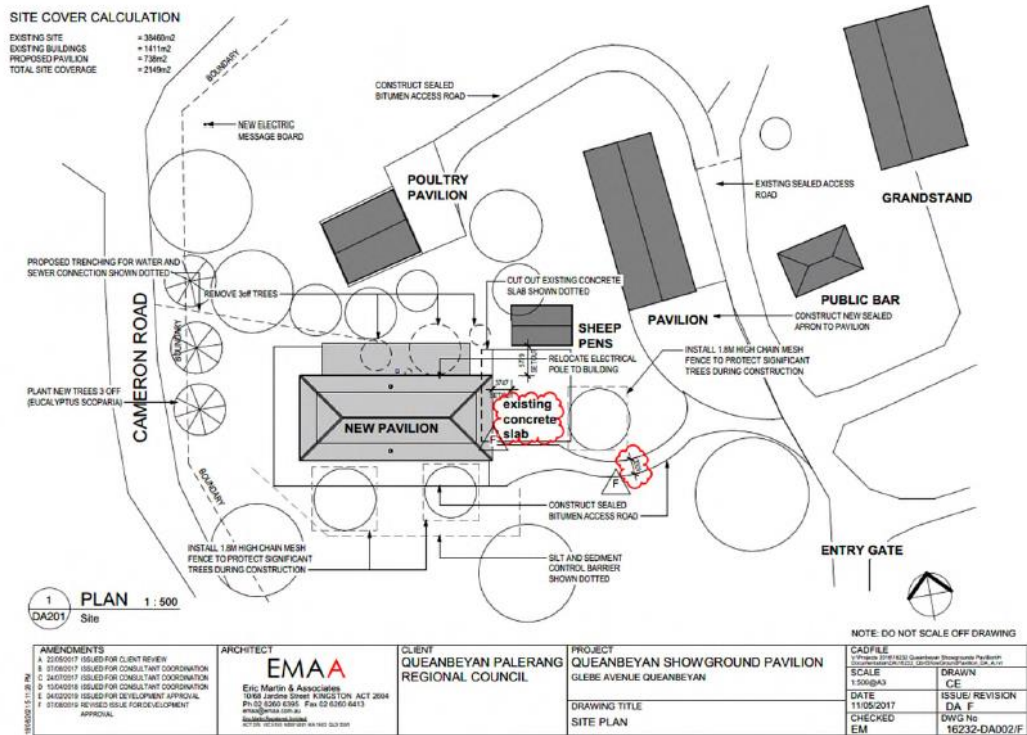


Figure 9: Proposed access roads

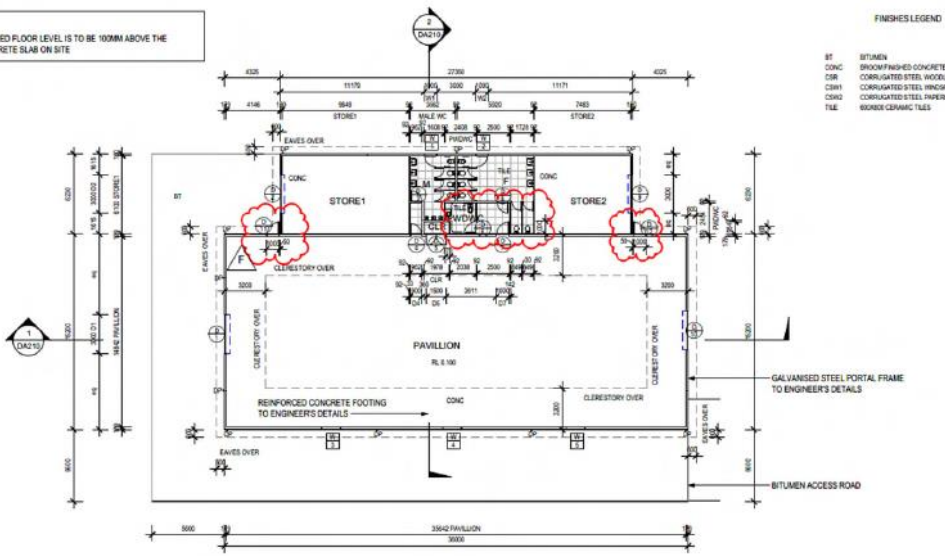
Amended Proposal and Plans

The amended proposal includes the pavilion, access road upgrades, wood chopping area, and electronic signage. It removed an additional shed. 12 trees are to be removed and 15 to be replanted.



9.2 Development Application DA 54-2019 - Construction of a Pavilion, Removal of 12 Trees, Replacement of 15 trees, New Access and Proposed Electronic Pylon Sign - Queanbeyan Showground - 19-41 Farrer Place Queanbeyan
 Attachment 5 - DA 54-2019 - Section 4.15 Assessment Report - 19-41 Farrer Place Queanbeyan (Continued)

NOTE
 PAVILION FINISHED FLOOR LEVEL IS TO BE 100MM ABOVE THE EXISTING CONCRETE SLAB ON SITE



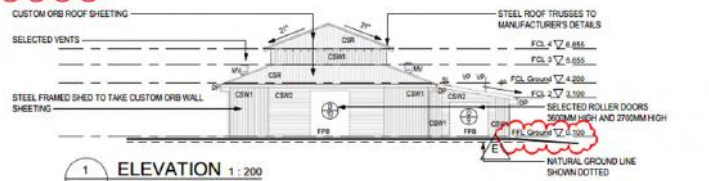
FINISHES LEGEND
 BT BITUMEN
 CONC BROOKFINISHED CONCRETE
 CSR CORRUGATED STEEL WOODLAND GREY
 CSW1 CORRUGATED STEEL WINGSPIR
 CSW2 CORRUGATED STEEL PAPERBANK
 TILE 600X600 CERAMIC TILES

1 PLAN 1:200
 DA201 GROUND FLOOR PLAN

NOTE: DO NOT SCALE OFF DRAWING

AMENDMENTS A 22/06/2017 ISSUED FOR CLIENT REVIEW B 07/08/2017 ISSUED FOR CONSULTANT COORDINATION C 13/04/2018 ISSUED FOR CONSULTANT COORDINATION D 14/02/2019 ISSUED FOR DEVELOPMENT APPROVAL E 07/08/2019 REVISED ISSUE FOR DEVELOPMENT APPROVAL F 05/03/2021 REVISED ISSUE FOR DEVELOPMENT APPROVAL	ARCHITECT EMA Eric Martin & Associates 15/15 Gordon Street KINGSTON ACT 2604 Ph: 02 6260 6266 Fax: 02 6260 6473 eric@ema.com.au www.ericmartin.com.au	CLIENT QUEANBEYAN PALERANG REGIONAL COUNCIL	PROJECT QUEANBEYAN SHOWGROUND PAVILION GLEBE AVENUE QUEANBEYAN	CADFILE 1/Project No: 2019/1023 2/Designer: Eric Martin & Associates 3/Author: Eric Martin & Associates 4/Client: Palerang Regional Council	
				SCALE 1:200/8A3	DRAWN PM
DRAWING TITLE FLOOR PLAN				DATE 06/03/2021	ISSUE/REVISION DA F
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NOTE
 PAVILION FINISHED FLOOR LEVEL IS TO BE 100MM ABOVE THE EXISTING CONCRETE SLAB ON SITE



FINISHES LEGEND
 BT BITUMEN
 CONC BROOKFINISHED CONCRETE
 CSR CORRUGATED STEEL WOODLAND GREY
 CSW1 CORRUGATED STEEL WINGSPIR
 CSW2 CORRUGATED STEEL PAPERBANK
 TILE 600X600 CERAMIC TILES

LEGEND
 DP DOWNPIPE
 MV EXHAUST ROOF UNIT
 SL SKYLIGHT
 VP VENT PIPE

1 ELEVATION 1:200
 EAST ELEVATION

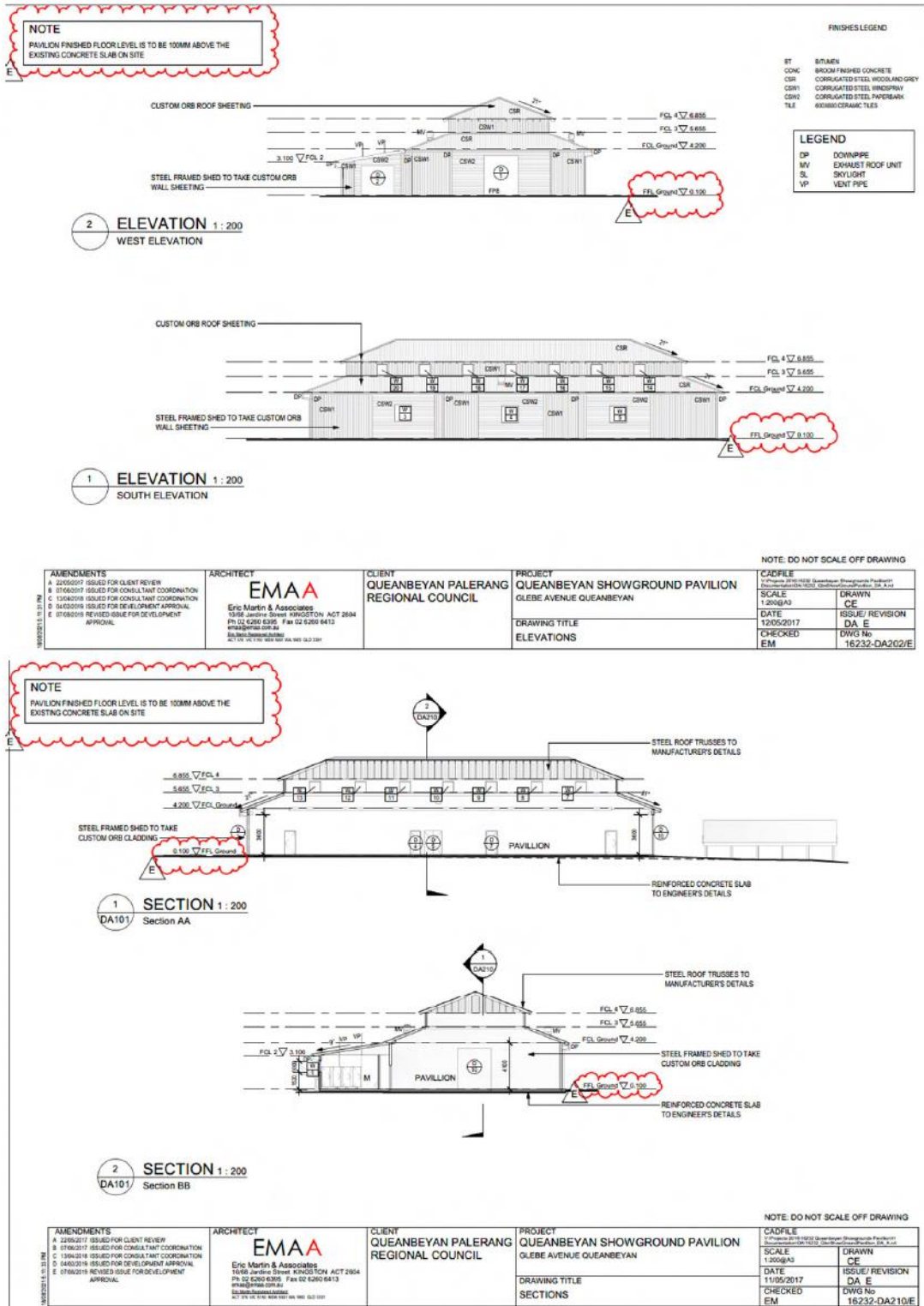


2 ELEVATION 1:200
 NORTH ELEVATION

NOTE: DO NOT SCALE OFF DRAWING

AMENDMENTS A 22/06/2017 ISSUED FOR CLIENT REVIEW B 07/08/2017 ISSUED FOR CONSULTANT COORDINATION C 13/04/2018 ISSUED FOR CONSULTANT COORDINATION D 14/02/2019 ISSUED FOR DEVELOPMENT APPROVAL E 07/08/2019 REVISED ISSUE FOR DEVELOPMENT APPROVAL	ARCHITECT EMA Eric Martin & Associates 15/15 Gordon Street KINGSTON ACT 2604 Ph: 02 6260 6266 Fax: 02 6260 6473 eric@ema.com.au www.ericmartin.com.au	CLIENT QUEANBEYAN PALERANG REGIONAL COUNCIL	PROJECT QUEANBEYAN SHOWGROUND PAVILION GLEBE AVENUE QUEANBEYAN	CADFILE 1/Project No: 2019/1023 2/Designer: Eric Martin & Associates 3/Author: Eric Martin & Associates 4/Client: Palerang Regional Council	
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9.2 Development Application DA 54-2019 - Construction of a Pavilion, Removal of 12 Trees, Replacement of 15 trees, New Access and Proposed Electronic Pylon Sign - Queanbeyan Showground - 19-41 Farrer Place Queanbeyan
 Attachment 5 - DA 54-2019 - Section 4.15 Assessment Report - 19-41 Farrer Place Queanbeyan (Continued)



The proposal was notified from the 29 March – 10 May 2019 with two submissions received. Issues raised have been adequately addressed through the assessment.

The proposal is recommended for approval subject to the imposition of the recommended conditions of consent.

BACKGROUND

The Queanbeyan Showground site is of strong cultural significance to the Aboriginal community. Historically the site is of value as a traditional camping and ceremonial place that was in use before and after European settlement. In the 19th century the site also became associated with gatherings of Aboriginal people for the annual government blanket distribution. The place has research potential as demonstrated in previous archaeological finds on the site. Aboriginal burials are also associated with the place. The showground site is a rare example of a place where large annual gatherings were held involving Aboriginal groups from surrounding districts and as far afield as the coast, the lower Lachlan and the Murrumbidgee Rivers. The cultural significance of these events continues to this day with the Aboriginal community demonstrating a strong connection to the place.

The showground is valued by the Queanbeyan community for its social and cultural associations having been used over a long period for agricultural shows and a variety of recreational uses. The showground has historic and aesthetic significance at a local level.

The Queanbeyan Showground Reserve comprises a roughly triangular area of approximately 8.78ha (about 22 acres) in central Queanbeyan. The body of the reserve is composed of Lot 6 DP 1116082 and Lot 4, section 56, DP 758862 while a strip of land along Glebe Avenue consisting of Lots 1 to 24, DP 13963, contributes another 1.5ha to the ground. The whole of the area is Crown Land dedicated for showground purposes. The principal feature of the reserve is the showground arena, which has a trotting track on its perimeter and is overlooked by a grandstand. The grandstand is a brick building with a corrugated iron awning roof. A walkway runs across the front of the grandstand at the foot of the seating area and above the ground floor hall; the walkway, which has a balustrade, is accessed by stairways (not original) at each end of the building. The hall extends to the rear in a lean to form.

Also located on the grounds are other ancillary structures relating to the various uses of the showground. At the Farrer Place entrance to the site is a gateway constructed in 1934 as a memorial to J.T Collett, a Queanbeyan businessman, Council alderman and founder of the Agricultural Association. The gateway is a rendered masonry art-deco style parapet with two single pedestrian arches flanking a wider vehicular entrance archway. There is another matching gateway on Lowe Street.

There are several mature trees on the ground, mainly at its western (Cameron Road) end. Archaeological finds and a burial have been recorded on the site.

The structures and buildings on the site relate to the use of the reserve as a showground and as a place with various uses associated with recreation. The grandstand and other historic elements such as the original gates have local heritage value. There are no structures or buildings on the site which relate to the State significant Aboriginal history of the site.

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Crown Reserve R130041/R530030/R530126 and is commonly known as Queanbeyan Showground, 19-41 Farrer Place, QUEANBEYAN NSW 2620. The site is located on the southern side of Farrer Place and has an area of 86,963.8m².

An existing pavilion is located on the western end of the Showground adjacent to Glebe Avenue and Cameron Road. Sheep pens and a pavilion exist to the north, as well as mature vegetation. An existing brickwork cottage exists at the site entry off Lowe Street. An existing bitumen driveway is located to the north of the proposed shed. The Queanbeyan Showground Heritage Study (1998) by Cox Architects & Planners identify the existing built items as Sheep Pens (1918), Poultry Pavilion (1939), coursing track (1933), Lowe Street gates (1934), Public Bar (1936-37), Grandstand (1939), Trotting track (1946), Common Room (1950), Cattle and Horse Stalls (1951), QSS building (1959) and Pavilion (1977) referred to as Old Pavilion. The Trotting and Coursing Tracks are no longer in place or being used. A partially sealed car park is located on the eastern boundary parallel with Cooma Street and the site contains a number of bitumen sealed tracks.



Figure 10: Locality plan

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for:

- Pavilion (738m² in area),
- New internal access and upgrades,
- Electronic message board,
- Removal of 12 trees,
- Replacement of 15 trees, and,
- Alterations to electricity infrastructure.

INTERNAL REFERRALS

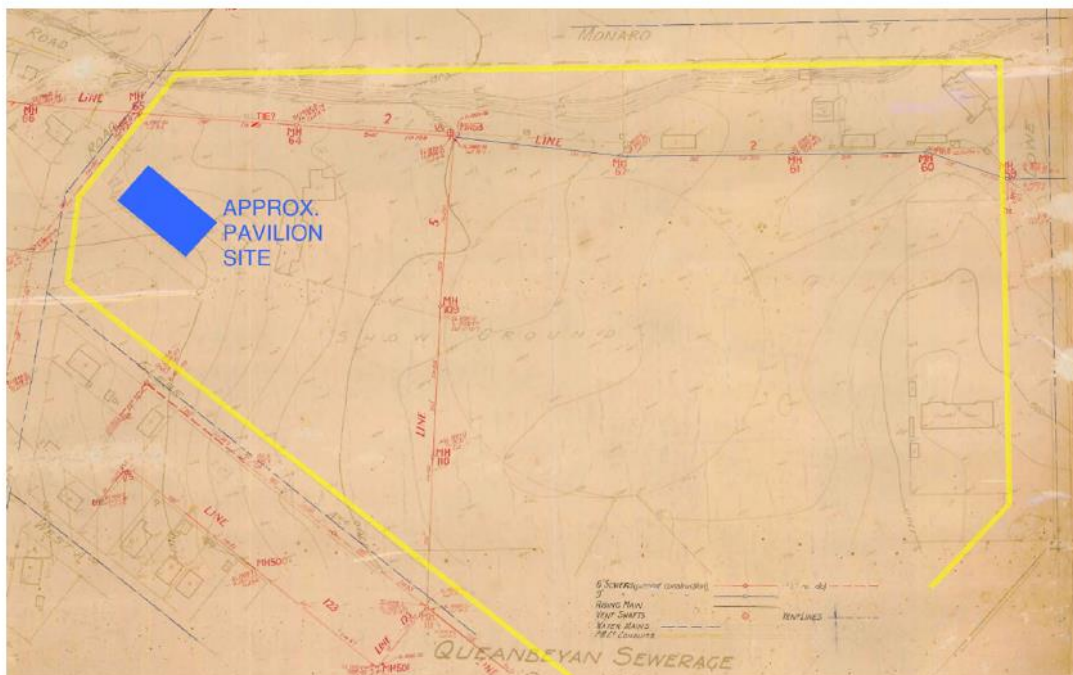
Engineering Comments

Water:

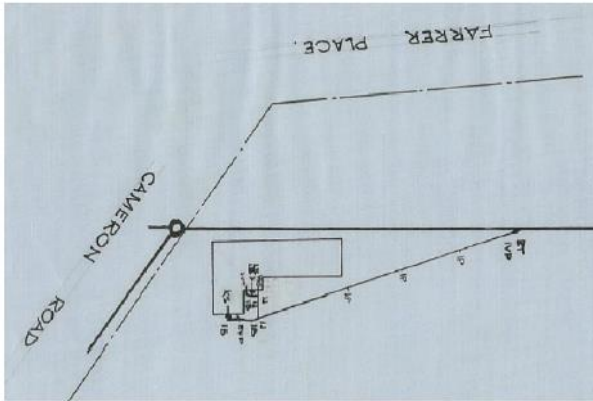
Several non-rateable meters exist for the site: 4x20mm, 1x25mm, 1x40mm, 1x50mm (from Pathway). The applicant should provide detail of intended water supply and if an existing service is to be utilised. Calculations should be provided to ensure the supply is sufficient for the development and address any fire service needs.

Sewer:

Connect to existing system. Unclear if an existing sewer tie can be utilised, although sewer mains run along Cameron Road and within the site adjacent to Farrer Road which could be utilised.



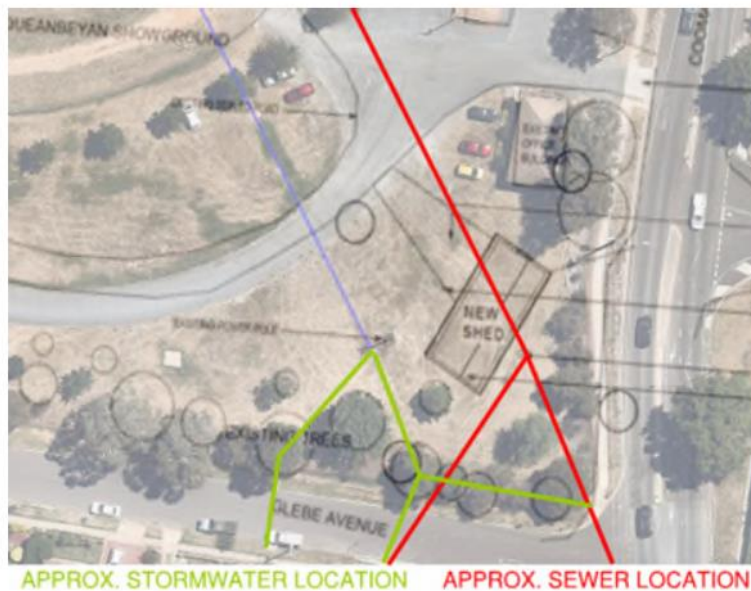
An old drainage diagram from the Boy Scout Hall suggests a tie exists within the site, however, would involve 30-40m of internal pipework to reach from the proposed pavilion. Alternatively, a new sewer tie could be constructed by Council for connection into the main on Cameron Road. Details of intended sewer drainage should be submitted for review.



Boy Scout Hall Drainage Diagram 1961

(Note The following assessment relates to the impact of a shed which has been removed from the development application).

Council sewer and stormwater infrastructure runs through lots 23 and 24 of DP 13963, where the shed has been proposed. Clear location dimensions haven't been specified on the plans or on WAE documents, however the proposed shed location would likely be over the sewer main. The sewer main is 225diamater and approx. 3m deep. The locations of these mains should be confirmed on site and the shed will need to be re-positioned such that it maintains 1.5m clearance either side of the pipe centrelines. A scale plan should be re-submitted clearly indicating the location of sewer and stormwater lines. It should detail the location and dimensions of the proposed structure and driveway, as well as clearances between the structure and pipes. If the development lies within the zone of influence of the mains, a structural shed design will need to be submitted, with pier and beam footing construction and piers sited such that loads of the building are not imposed on mains.



Stormwater:

Stormwater from the pavilion and shed to be collected and discharged via a connection to the existing system. Runoff from the driveways should be directed to an absorption trench or a

connection to the existing system. A stormwater management plans should be submitted for review.

Traffic and Parking:

The shed includes provision to park two minibuses. Door openings and internal side clearances comply with AS2890.1.

Queanbeyan DCP does not specify parking requirements for community facilities and suggests calculating on a need's basis. Detail hasn't been given on the intended use of the pavilion, although it is expected it would only be used during events. The applicant should submit a parking strategy, addressing parking during events and use of the pavilion.

Access:

The internal sealed driveway is to be extended to provide clear access to the shed, as indicated in the plans. The driveway to the shed is to be minimum 3m wide and the turning aisle in front of the garage doors should be adequate such that the buses can exit the site forwards.

It has also been proposed to extend the driveway to meet with the new pavilion and existing buildings on site. Dimensions and vehicles intended to access the new development are to be indicated on the plans to ensure adequate width is provided for the specified vehicles. If the accesses are not intended for vehicle use, preventative bollards should be installed.

Flooding:

N/A

Any other Engineering comments:

It is recommended that the lots within the site be consolidated. It is also noted that the proposed shed location spans multiple lots.

Section 64 Headworks Contribution Calculations

Section 64 contributions are applicable due to the public amenities provided within the pavilion. These have been calculated based on the Water Directorate Guidelines, with rates of Public Amenities within Community Facilities used. Given this is not the first development on the site, it is assumed that S64 credits have previously been applied.

The following table provides calculations for the applicable ETs:

<u>Item</u>	<u>No of Units</u>	<u>ETs per Unit</u>	<u>ETs</u>
<u>Water</u>			
Community Facilities – Public Amenities (per wc)	10 toilets + 3 urinals = 13	0.40	5.2
Allow for existing lot			
<u>Total ETs</u>			
Total Water ET Contributions Payable for this development:			5.2

<u>Item</u>	<u>No of Units</u>	<u>ETs per Unit</u>	<u>ETs</u>
<u>Sewer</u>			

Community Facilities – Public Amenities (per wc)	10 toilets + 3 urinals = 13	0.63	8.19
Allow for existing lot			
Total ETs			
Total Sewer ET Contributions Payable for this development:			8.19

The following contributions should be sought, with the amounts stipulated being based on current rates and will need to be adjusted to the rate applicable at time of payment –

<u>Water ETs*</u>	<u>Zone</u>	<u>Sewer ETs**</u>	<u>Zone</u>
5.2	<input checked="" type="checkbox"/> Queanbeyan <input type="checkbox"/> Jerrabomberra	8.19	<input checked="" type="checkbox"/> East <input type="checkbox"/> West

Building Comments

Council’s Building Officer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Tree Advisor Comments

Generally, I don’t have any opposition to the trees being removed, but there are a few things I’d like to see:

- The statement of heritage impact mentions 15 trees to be replanted, but I only count 12 shown on the plans
- The protective fencing applied to all trees around the development area
- The trench for water/sewer connection is excavated under arborist supervision to assess impact to tree roots – Condition

Heritage Comments

Pavilion

The overall form of the pavilion is good with key elements to break up scale being the clerestory windows and the varied articulation/direction of the external cladding. These should not be diluted or diminished during further design and construction.

Shed

The form an appearance of the shed is acceptable. (This assessment is no longer relevant as the shed has been removed from the development application).

Landscape plan

The plan in the documentation is very basic and not really a landscape plan, rather an indication of trees to be removed and replaced. There should be a more detailed landscape plan that ensures there will be good tree and shade cover for the next 50 years or more.

Hardstand in front of pavilion

A large hardstand is proposed for the old pavilion. This, in combination with adjacent existing and proposed roads, will create a large sealed area and yet there is no detail in the drawings of its material, purpose, surrounding vegetation etc. In summer it could be highly reflective. If it is necessary, then thought needs to be given to the surface finish, and large trees planted adjacent to its edge to cast shade.

EXTERNAL REFERRALS

Essential Energy

The applicant will need to be aware around both sites that they need to comply with the NSW Service Rules around the private poles on the site. If they don't and Essential Energy determine there is a problem Essential Energy will defect them.

The applicant will still need to maintain the clearances from the High Voltage underground cable, as per the comments provided previously.

Any development in proximity to Essential Energy's infrastructure should comply with the latest industry guideline currently known as *ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure*. A copy of this guideline can be located at www.resourcesandenergy.nsw.gov.au/_data/assets/pdf_file/0004/466816/ISSC-20-Electricity-Easements.pdf.

Council's and the development applicant's attention is also drawn to Section 49 of the *Electricity Supply Act 1995* (NSW). Relevantly, Essential Energy may require structures or things that could destroy, damage or interfere with electricity works, or could make those works become a potential cause of bush fire or a risk to public safety, to be modified or removed.

Essential Energy makes the following general comments:

- If the proposed development changes, there may be potential safety risks and it is recommended that Essential Energy is consulted for further comment;
- Any existing encumbrances in favour of Essential Energy (or its predecessors) noted on the title of the above property should be complied with; and
- Prior to carrying out any works, a "Dial Before You Dig" enquiry should be undertaken in accordance with the requirements of Part 5E (Protection of Underground Electricity Power Lines) of the *Electricity Supply Act 1995* (NSW).
- Given there is electricity infrastructure in the area, it is the responsibility of the person/s completing any works around powerlines to understand their safety responsibilities. SafeWork NSW (www.safework.nsw.gov.au) has publications that provide guidance when working close to electricity infrastructure. These include the Code of Practice – Work near Overhead Power Lines and Code of Practice – Work near Underground Assets.

Heritage NSW

General Terms of Approval have been issued by Heritage NSW and are included as conditions of consent.

Crown Lands

Together with the submitted application and plans Crown Lands offers no objections to the proposed development providing:

1. This response does not imply the concurrence of the Minister for Lands and Forestry for the proposed development.
2. Any development or works including the extension of utilities to service the development will require a separate development application to be lodged. Should these works fall within Crown land such an application will require an Application for Landowner's Consent to the lodgement of a Development Application with respect to Crown land.
3. The Minister for Lands and Forestry reserves the right to make comments, lodge an objection and / or require conditions with respect to development proposed on Crown land.
4. Irrespective of any development consent or approval given by other public authorities, any work or occupation of Crown land cannot commence without a current tenure from the Department authorising such work or occupation.
5. No development drainage, overflow or contaminated waste (contaminated runoff or septic) shall impact negatively on the Crown land or waterway.
6. No materials are permitted to be dumped or stored on Crown land, roads, or waterways.

7. The development is conducted with minimal environmental disturbance to the Crown land and is to avoid the removal or damage of any native trees located within the subject Crown lands or waterways.
8. Public access on the Crown land and waterway is retained and not restricted on and along the Crown land and waterways.
9. Appropriate pollution control measures shall be provided for the duration of the works. Such measures are not to be located on Crown land or waterways.

CONSIDERATION OF THREATENED SPECIES

Council is required under Section 4.15 of the *Environmental Planning and Assessment Act 1979* to assess whether the proposed development will have a significant impact on any threatened species, populations, or ecological communities, or their habitats. Such threatened species in NSW may be protected under the *Biodiversity Conservation Act 2016* (NSW) or under the *Environment Protection and Biodiversity Conservation Act 1999* (Commonwealth) (EPBC Act). The assessment process under the EPBC Act can occur outside the NSW planning system and requires input from the Federal Department of Environment. Any EPBC Act requirements associated with this proposal are discussed later in this section.

The proposal includes the removal of 12 native eucalyptus trees. It also proposes to replant 15 trees that are each native eucalypt species. It is not considered that the proposal will have a significant or irreversible impact on biodiversity. The site is located within an urbanised area, and as a result the removal of the trees will not fragment existing habitat to an inappropriate extent. The replacement with additional trees will also act to mitigate impacts on biodiversity.

SECTION 4.14 CONSULTATION AND DEVELOPMENT CONSENT – CERTAIN BUSHFIRE PRONE LAND – EP&A ACT, 1979

The site is not bushfire prone land.

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 4.15 of the *Environmental Planning and Assessment Act 1979* as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

State Environmental Planning Policy No 55 - Remediation of Land

Clause 7(1) prescribes that a consent authority must not consent to the carrying out of any development on land unless it has considered whether the land is contaminated. There are no records of the site being previously used for any potentially contaminating purposes.

State Environmental Planning Policy - (Infrastructure) 2007

The provisions of this Policy have been considered in the assessment of the application. The site is not located in or adjacent to road corridor nor does it have a frontage to a classified road. The site is not located within or immediately adjacent to an easement for electricity purposes or immediately adjacent to an electricity substation. No development is proposed within 5m of an overhead powerline and no ground penetrating work is proposed within 2m of any underground electricity services.

State Environmental Planning Policy NO. 64 - Advertising and Signage

Granting of consent to signage must satisfy clause 3(1)(a) and Schedule 1 of *SEPP No. 64*.

Clause 3 (1)(a)(i): The signage is considered compatible with the desired amenity and visual character of the area.

Clause 3 (1)(a)(ii): Signage identifies the premises 'Queanbeyan Showground' and provides an electronic signage board to provide information to patrons regarding events etc.

Clause 3 (1)(a)(iii): The design for the sign is of high-quality design and finish.

Schedule 1 Assessment Criteria

1 Character of the area			
- Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?	Yes		
- Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?			N/A
2 Special areas			
- Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?		No	
3 Views and vistas			
- Does the proposal obscure or compromise important views?		No	
- Does the proposal dominate the skyline and reduce the quality of vistas?		No	
- Does the proposal respect the viewing rights of other advertisers?	Yes		
4 Streetscape, setting or landscape			
- Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?	Yes		
- Does the proposal contribute to the visual interest of the streetscape, setting or landscape?	Yes		
- Does the proposal reduce clutter by rationalising and simplifying existing advertising?			N/A
- Does the proposal screen unsightliness?			N/A
- Does the proposal protrude above buildings, structures or tree canopies in the area or locality?		No	
- Does the proposal require ongoing vegetation management?		No	

5 Site and building			
- Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?	Yes		
- Does the proposal respect important features of the site or building, or both?	Yes		
- Does the proposal show innovation and imagination in its relationship to the site or building or both?		No	
6 Associated devices and logos with advertisements and advertising structures			
- Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?		No	
7 Illumination			
- Would illumination result in unacceptable glare?			N/A
- Would illumination affect safety for pedestrians, vehicles or aircraft?			N/A
- Would illumination detract from the amenity of any residence or other form of accommodation?			N/A
- Can the intensity of the illumination be adjusted, if necessary?			N/A
- Is the illumination subject to curfew?			N/A
8 Safety			
- Would the proposal reduce the safety for any public road?		No	
- Would the proposal reduce the safety for pedestrians or bicyclists?		No	
- Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?		No	

QUEANBEYAN LOCAL ENVIRONMENTAL PLAN (QLEP) 2012

An assessment of the proposal against the general aims of QLEP 2012 is included below:

Cl.	Aims	Complies
1.2(2)		
(a)	<i>To facilitate the orderly and economic use and development of land in Queanbeyan based on ecological sustainability principles.</i>	Yes
(b)	<i>To provide for a diversity of housing throughout Queanbeyan.</i>	Yes

(c)	To provide for a hierarchy of retail, commercial and industrial land uses that encourage economic and business development catering for the retail, commercial and service needs of the community.	Yes
(d)	To recognise and protect Queanbeyan's natural, cultural and built heritage including environmentally sensitive areas such as Queanbeyan's native grasslands, the Queanbeyan River and Jerrabomberra Creek.	Yes
(e)	To protect the scenic quality, views and vistas from main roads and other vantage points within Queanbeyan of the escarpment and Mount Jerrabomberra.	Yes
(f)	To maintain the unique identity and country character of Queanbeyan.	Yes
(g)	To facilitate the orderly growth of the urban release area in Googong in a staged manner that promotes a high level of residential amenity and the timely provision of physical and social infrastructure through appropriate phasing of the development of land.	Yes

Comments: The proposal generally meets the above objectives. Specifically, it retains the character of the showground and encourages additional events that could be held on the site in the proposed pavilion. This will encourage economic development for the locality as a whole.

Suspension of Covenants, Agreements, and Instruments

Under Clause 1.9A, no covenants, agreements and instruments restricting the development have been identified.

Plan of Management

Up until 1986, the Queanbeyan Show Society managed, maintained and controlled the Queanbeyan Showground, under the requirements of the original dedication of 1893, which indicated the site was to be utilised as a Showground Reserve. In 1986 Queanbeyan City Council became corporate trust manager of the Showground, under the Crown Land Consolidation Act 1913 as amended (NSW) Section 37P and others and became responsible for managing the grounds.

In 1995 the Queanbeyan Showground was dedicated for "use as a public Showground, public recreation and community purposes" under the Queanbeyan Showground (Variation of Purposes) Act 1995 (NSW). This Act was repealed, in 2013.

Basis for Management

Existing Policy Commitments

The existing policy commitments as determined from the previously mentioned reports are that Queanbeyan City Council, as Corporate Trust Manager of the Showground, is responsible for the following;

- to retain, maintain and enhance the Showground lands for recreational purposes,
- to provide access to the Showground lands by the Queanbeyan Show Society Inc. to conduct the annual show for a maximum of 14 days a year,
- to protect the character of the large open space provided by the Showground, and
- to protect and promote the heritage values of the Showground.

Showground Values

Based on community consultation the Showground has value:

1. for agricultural show purposes,
2. for public recreation,
3. for its Aboriginal heritage,
4. for its post aboriginal contact heritage,
5. for community use,
6. for commercial use compatible with the Dedication of the Showground, and

7. for its landscape (including buildings and structures) value.

In addition, the Queanbeyan City Council, has identified the Showground has value for use as the location of a storm water retention basin as part of the surrounding city surface-water drainage infrastructure.

The proposed additions to the showground is generally consistent with the values of the POM. The POM states all future development must meet the showground definition and meet the current needs of the community which the structures will. They are to be used for showground purposes only and this has been discussed in the definition of the QLEP 2012.

Permissibility

The subject site is Zoned RE1 Public Recreation zone under Queanbeyan Local Environmental Plan 2012.

Development for the purposes of ancillary structures of a **major recreation facility** such as is proposed is permissible within the RE1 Public Recreation zone with consent and is defined under QLEP 2012 as follows:

Recreation facility (major) means a building or place used for large-scale sporting or recreation activities that are attended by large numbers of people whether regularly or periodically, and includes theme parks, sports stadiums, showgrounds, racecourses and motor racing tracks.

Zone Objectives

An assessment of the proposal against the objectives of the RE1 Public Recreation zone is included below:

Objectives	Complies
➤ To enable land to be used for public open space or recreational purposes.	Yes
➤ To provide a range of recreational settings and activities and compatible land uses.	Yes
➤ To protect and enhance the natural environment for recreational purposes.	Yes

Comments: The structures will allow for additional recreational purposes and aims to retain environment and recreation structures already on site.

Demolition

Under Clause 2.7 of the QLEP 2012, the proposal does not involve demolition of an existing structure.

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the QLEP 2012 is provided below.

Height of building - Pavilion

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	NA	8.8 metres	Yes

Comments: There is a grandstand on the subject site which is much taller than the proposed pavilion ensuring it will not be a dominant structure on the site. The height of the proposal is compatible with the use of the site.

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the QLEP 2012 are addressed below as part of this assessment:

5.10 Heritage conservation

The site is a State listed heritage item. It is number 170 on the Environmental Heritage Schedule within the QLEP 2012. The Queanbeyan Showground site is of strong cultural significance to the Aboriginal community. Historically the site is of value as a traditional camping and ceremonial place that was in use before and after European settlement. In the 19th century the site also became associated with gatherings of Aboriginal people for the annual government blanket distribution. The place has research potential as demonstrated in previous archaeological finds on the site. Aboriginal burials are also associated with the place. The showground site is a rare example of a place where large annual gatherings were held involving Aboriginal groups from surrounding districts and as far afield as the coast, the lower Lachlan and the Murrumbidgee Rivers. The cultural significance of these events continues to this day with the Aboriginal community demonstrating a strong connection to the place.

Eric Martin (2019) explains in the submitted documents the significance of the Queanbeyan Show and its history on the site.

Most of the present showground reserve was included in a large area that was designated by 1862 as a Recreation Ground for the people of Queanbeyan. In 1883 the Queanbeyan Pastoral, Agricultural and Horticultural Association succeeded in having part of the Recreation Ground resumed and a 3.7 ha portion of it (Lot 4, Section 56) dedicated as a showground. Agricultural shows were held on the ground from this date. By 1906 the showground was expanded by approximately 4 hectares (Lot 6, Section 56). This area had also been part of the original Recreation Ground. A segment of the showground reserve on its north-eastern side (part of Lot 6, Section 56) was sold to the Catholic Church in 1920 so that it could erect a church and school on the site. With the money realised by this sale a 1.5 ha strip of land along the southern boundary was added to the showground reserve. In 1939 the Council became the trustee of both the body of the showground and of the extension along Glebe Avenue. (Local Government Heritage Inventory Sheet)

From its inception in 1893, the annual Queanbeyan Show developed into one of the most important community events in the Queanbeyan social calendar. Over the years the showground also became the venue for a variety of other activities. Trotting having become one of the main attractions of the annual shows, it was decided to construct a proper harness racing track on the ground in 1927. Until 1968 the showground track was one of New South Wales's most important venues for regular trotting meetings up. The showground also hosted carnivals, circuses and poultry exhibitions. Greyhound racing commenced in the early 1930s on a properly constructed coursing track. At the outbreak of World War Two, the showground was used as the drill ground by the Canberra troop of light horse. On many occasions, the showground has served as an emergency caravan park when the Queanbeyan River has been in flood. (Local Government Heritage Inventory Sheet) (Martin, p.6).

The annual show continued to be a popular after World War Two and continued to be a successful event until at least the early 1970s. After this time the show's fortunes began to decline and pressure to develop the showground increased. The site was seen by a majority of Queanbeyan City Council, the New South Wales Department of Lands and some local businesspeople as a valuable and under utilised piece of real estate close to the commercial heart of the city. In 1988, the council issued development plans for the showground. The development proposals roused considerable opposition in the city from various individuals and groups, including the Show Society, the Ngunnawal Land Council, the Monaro Conservation Society, the Queanbeyan and District Historical Society, the Coursing Club, the Trotting Association and a group specially formed to campaign for the retention of the showground, the Friends of Queanbeyan Showground. The council and Department of Lands pressed ahead and in mid-1989 twenty-four lots on Glebe Avenue were resumed. Following action by members of the Queanbeyan community, the New South Wales Legislative Council disallowed the resumption. The protracted dispute over the proposed development of the showground generated a great deal of publicity and a revival of interest in the ground. In the last few years, the annual show has undergone a strong resurgence. (Local Government Heritage Inventory Sheet)

Martin (2019) goes on to discuss the historic value of the existing built items on the subject site:

Built items

Queanbeyan Showground Heritage Study (1998) by Cox Architects & Planners identify the existing built items as Sheep Pens (1918), Poultry Pavilion (1939), coursing track (1933), Lowe Street gates (1934), Public Bar (1936-37), Grandstand (1939), Trotting track (1946), Common Room (1950), Cattle and Horse Stalls (1951), QSS building (1959) and Pavilion (1977) referred to as Old Pavilion in this report. The Trotting and Coursing Tracks are no longer in place or being used (Martin, p. 8).

The NSW Heritage Register states that the structures and buildings on the site relate to the use of the reserve as a showground and a place with various uses associated with recreation. The grandstand and other historic elements such as the original gates have local heritage value. There are no structures or buildings on the site which relate to the State significant Aboriginal history of the site..

Using the Heritage Flowchart the development was sent to Council's Heritage Advisor who provided the following comments:

Pavilion

The overall form of the pavilion is good with key elements to break up scale being the clerestory windows and the varied articulation/direction of the external cladding. These should not be diluted or diminished during further design and construction.

Shed

The form and appearance of the shed is acceptable. (NB. This has been removed from the development application).

Landscape plan

The plan in the documentation is very basic and not really a landscape plan, rather an indication of trees to be removed and replaced. There should be a more detailed landscape plan that ensures there will be good tree and shade cover for the next 50 years or more.

Hardstand in front of pavilion

A large hardstand is proposed for the old pavilion. This, in combination with adjacent existing and proposed roads, will create a large sealed area and yet there is no detail in the drawings of its material, purpose, surrounding vegetation etc. In summer it could be highly reflective. If it is necessary, then thought needs to be given to the surface finish, and large trees planted adjacent to its edge to cast shade.

The structures proposed location is shown in the below Figure in relation to the existing on site. Both will be heavily concealed by existing vegetation. The pavilion specifically has been designed to be respectful to the physical character of the showground through the use of articulation and changes in materials. Rafters will be exposed to give it a traditional 'Australian Woolshed' feel to reflect the design of the sheep pens residing near it.

The design of the shed is also complimentary to the character of the site through the use of corrugated iron walling and timber weather-board sheeting on the gable end walls. to match the existing sheds on site.

The changes are unlikely to have a detrimental impact on the Aboriginal significance of the site. The structures are proposed to the west and north of the site ensuring the burial ground areas will not be disturbed. Nonetheless, given the extensive use of the site historically for Aboriginal purposes a condition of consent will be imposed stating action to be taken if any artefacts are found during the development.

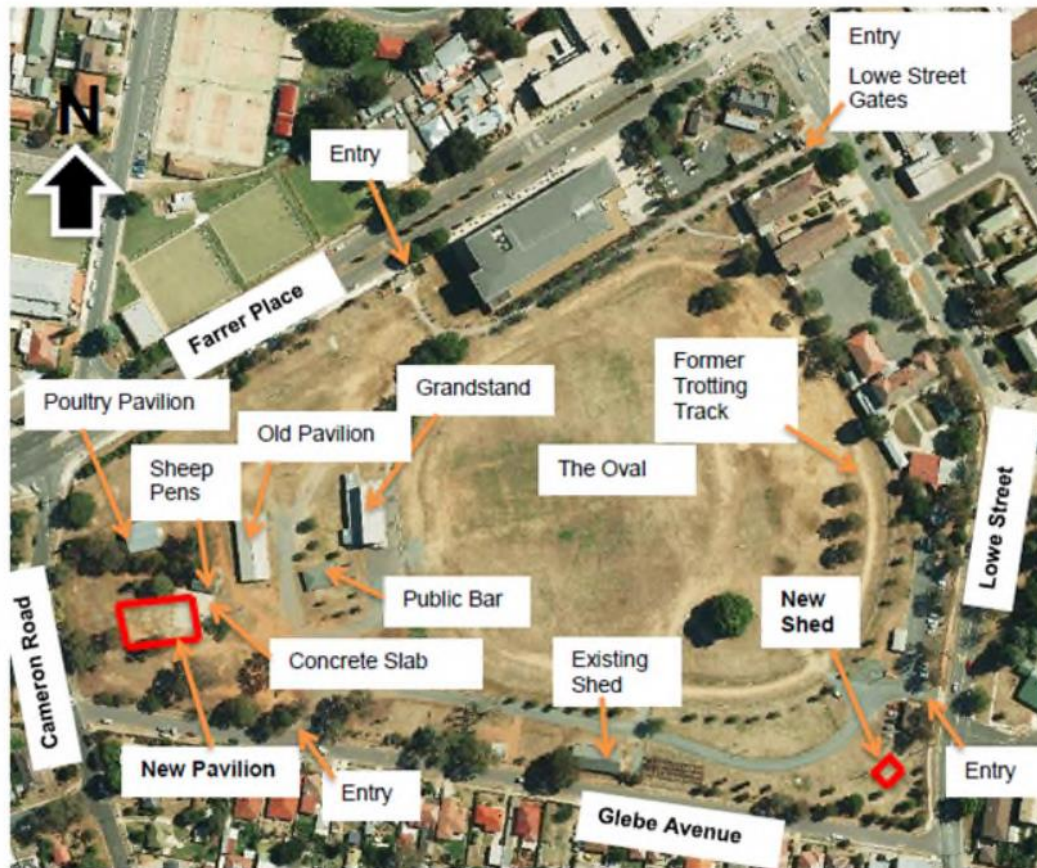


Figure 11 (The shed has now been removed from the development application)

5.11 Bush fire hazard reduction

The application **does not** involve any bush fire hazard reduction works.

Part 7: Local Provisions

The relevant provisions contained within Part 7 of the QLEP 2012 are addressed below as part of this assessment:

7.1 Earthworks

Clause 7.1 of the QLEP 2012 establishes several matters requiring consideration for development involving earthworks. Earthworks associated with the development are proposed and form part of this application. The proposed earthworks will not have a detrimental impact on drainage patterns and soil stability or the existing and likely amenity of adjoining properties. The development application will be condition to mitigate the potential impact of soil erosion and the like during construction.

6.2 Flood planning

Clause 7.2 of the QLEP 2012 makes provision for developments within the flood planning area. The site **is not** identified as “flood planning area” on the Flood Planning Map and **is not** at or below the flood planning level.

7.3 Terrestrial biodiversity

Clause 7.3 of the QLEP 2012 makes for provision for developments that impact on terrestrial biodiversity. This clause **is not** considered relevant to the proposed development as the site **is not** identified as “Biodiversity” on the Terrestrial Biodiversity Map.

7.4 Riparian land and watercourses

Clause 7.4 of the QLEP 2012 makes provision for developments within riparian land and watercourses. This clause **is not** considered relevant to the proposed development as the site is not identified as "Watercourse" on the Riparian Land and Watercourses Map".

7.5 Scenic protection

Clause 7.5 of the QLEP 2012 makes provisions for developments impacting on scenic protection land. This clause **is not** relevant to the proposed development as the site **is not** identified as "Scenic Protection Area" on the Scenic Protection Map.

7.6 Airspace operations

Clause 7.6 of the QLEP 2012 makes provisions for developments located in areas that are affected by airspace operations and aircraft noise. The proposed development **will not** penetrate the Obstacle Limitations Surface Map for the Canberra Airport. Therefore, the application **was not** required to be referred to the relevant Commonwealth body for comment.

7.7 Development in areas subject to aircraft noise

Clause 7.7 of the QLEP 2012 makes provisions for developments subject to aircraft noise. This clause **is not** considered relevant to the proposed development as the site **is not** located near the Canberra Airport or within an ANEF contour of 20 or greater.

7.8 Active street frontage

This clause **is not** considered relevant to the proposed development as the site **is not** identified as "Active street frontage" on the Active Street Frontages Map".

7.9 Essential services

Clause 7.9 of the QLEP 2012 requires satisfactory arrangements to be made for water supply, stormwater drainage, solid domestic waste, sewage, and the treatment and disposal of effluent. Along with the supply of electricity and suitable vehicle access.

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:

- (a) *the supply of water,*
- (b) *the supply of electricity,*
- (c) *the disposal and management of sewage,*
- (d) *stormwater drainage or on-site conservation,*
- (e) *suitable vehicular access.*

Council's Development Engineer has assessed the proposed development and confirmed that the site **does** have suitable vehicle access and adequate services are available.

7.10 Development near Cooma Road Quarry

This clause **is not** considered relevant to the proposed development as the site **is not** identified as "Buffer Area" on the Quarry Buffer Area Map".

7.11 Development near HMAS Harman

This clause **is not** considered relevant to the proposed development as the site **is not** located within 2 kilometres of HMAS Harman or within Zone IN1 General Industrial or Zone IN2 Light Industrial.

4.15(1)(a)(ii) any draft environmental planning instruments

The draft comprehensive Queanbeyan-Palerang Local Environmental Plan applies to the site. The proposal does not rely on the draft instrument for permissibility. Nor does the draft instrument create any permissibility issues related to the proposed use.

4.15(1)(a)(iii) any development control plan

QUEANBEYAN DCP 2012 COMMENTS		
Section	Controls	Compliance / Conditions
PART 2 – ALL ZONES		
2.2	<p>Car Parking No changes are proposed to the existing parking arrangements.</p> <p>The application has been referred to Councils Development Engineer who has found the parking arrangements including access and manoeuvring areas to be satisfactory in this instance.</p>	Yes
2.4	<p>Contaminated Land Management The proposal is considered generally satisfactory with respect to State Environmental Planning Policy 55 – Remediation of Land (SEPP 55) and therefore also with respect to DCP clause 2.4. The land is not known to have been used for potentially contaminating activities.</p>	Yes
2.5	<p>Flood Management The subject site is not within a flood prone area.</p>	NA
2.6	<p>Landscaping Landscaping has been submitted on the site plan with the application due to the removal of trees. This was submitted and replacement trees include:</p> <ul style="list-style-type: none"> • 5 x Eucalyptus Leucoxylon Rosea to the south; • 1 x Eucalyptus Leucoxylon Rosea to the east; • 3 x Platanus Acerifolia to the north; and, • 3 x Eucalyptus Scoparia to the west. 	Yes
2.7	<p>Erosion and Sediment Control Standard conditions relating to site management will be imposed should development consent be granted.</p>	Yes
2.9	<p>Safe Design The proposed development generally satisfies the relevant provisions of this clause. Entry and exit points are clearly defined. The proposed structure is not anticipated to create any ongoing security issues.</p>	Yes
2.11	<p>Airspace Operations and Airport Noise The proposed development complies with the requirements prescribed for the site in Clause 7.5 Airspace Operations and 7.6 Development in areas subject to Airport Noise. of the QLEP 2012 – see previous discussion in this assessment.</p>	NA
2.12	<p>Preservation of Trees and Vegetation</p> <p>The following trees are to be removed.</p> <ul style="list-style-type: none"> • 5 x Eucalyptus Leucoxylon Rosea to the south; • 1 x Eucalyptus Leucoxylon Rosea to the east; • 3 x Platanus Acerifolia to the north; and, • 3 x Eucalyptus Scoparia to the west. <p>Biodiversity impacts have been assessed in accordance within the 'consideration of threatened species' section of this report.</p>	Yes

	The development also includes the replanting of 15 trees that are a native species.	
QUEANBEYAN DCP 2012 COMMENTS		
Section	Controls	Compliance / Conditions
PART 4 – HERITAGE		
4.4.1	ANCILLARY DEVELOPMENT	
4.4.4	<p>Driveways</p> <p>a) The retention of traditional driveways of gravel, paired concrete strips, recycled brick and similar materials is encouraged.</p> <p>b) Existing single-width driveways should be retained, with widening only occurring behind the building line.</p> <p>c) Existing wheel strips forward of the building line should be retained.</p> <p>d) Driveway turning areas should not be installed in the front of the building (between the building and road).</p> <p>e) Driveways should not extend the full width between the dwelling and the boundary; rather they should be set back a minimum of 450mm from either side to allow for planting beds etc.</p> <p>f) Plain concrete is highly reflective and generally not consistent with Queanbeyan’s historic cottages when used other than as paired strips. Large expanses of concrete used for driveways and turning circles are not appropriate and are to be avoided.</p> <p>g) Suitable driveway surfaces include: gravel, paired concrete strips, recycled or new bricks, clay or other pavers and bitumen (tarmac). Tinted concrete and surfaces using several materials, for example brick or paver edging with bitumen infill, may meet the objective if suitably designed. Patterned and stamped concrete is not a traditional process and is not appropriate in the Conservation Area.</p>	Yes

<p>4.4.5</p>	<p>Sheds and Outbuildings</p> <p><i>a) New structures are to be located behind the main dwelling or away from the public domain.</i></p> <p>The shed is not proposed in close proximity to the public domain.</p> <p><i>b) New structures do not need to replicate the features of the significant building/item but will need to be sympathetic with it.</i></p> <p>The shed proposes corrugated iron and weatherboard features to be sympathetic to the surrounding structures.</p> <p><i>c) Height of new structures shall be less than the heritage item unless located well away from it.</i></p> <p>The Heritage significance on the site relates to the Aboriginal history of the land. The existing structures on the land are greatly higher than the proposed shed regardless and it will not be a dominating structure.</p> <p><i>d) Site coverage and bulk of new structures shall be less than the heritage item.</i></p> <p>As mentioned, the site is significant in relation to the Aboriginal significance. The existing shed on site has an area of approximately 250m² and the proposed is 172m². As such it is less than the existing shed. (NB. The shed has been removed from the development application).</p>	<p>N/A</p>
<p>4.4.13</p>	<p>Signage Panels</p> <p>a) Corporate colours should not be applied to the whole of the building's exterior, and where approved by Council, will be confined to the non-significant parts of the façade. Corporate signs and colours that do not harmonise with the building's historic character shall be controlled for size and set within a border stripe to separate the sign from the building's body colour.</p> <p>b) Commercial signage, whether painted directly onto the building or to panels that are fixed to the building, needs to be designed in size and proportion to fit with the building's architectural styling. Most commercial buildings include areas on the awning and parapet that are suitable for signage. Signage beyond those areas may not meet the objectives of these guidelines.</p> <p>c) Signs on the edge or face of awnings shall be no greater in height than 50% of the height of the awning and set in from the edge. The surrounding background colour shall be continuous across the whole of the awning. The height of awnings shall not be increased by the addition of false panels etc.(Figure 7)</p> <p>d) Signage panels, brackets, lettering and the like that are attached to a building should be fixed in a manner that can be reversed without scarring or damaging significant building</p>	<p>Yes</p>

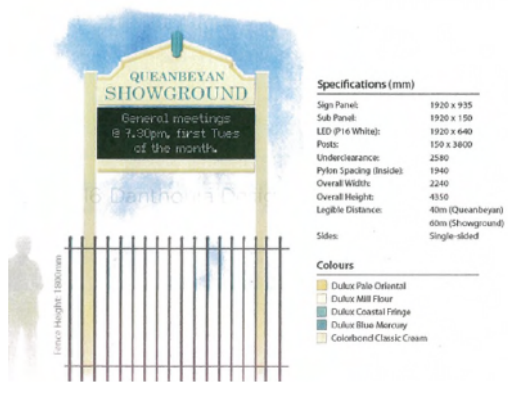
fabric. For example, anchors in a face brick wall should be inserted into the mortar joint rather than the brick.

e) Where fixing of signage etc will compromise fabric or the overall appearance of the structure, the signage etc should be attached to a free-standing frame rather than the building itself.

f) Signage will also need to comply with State Environment Planning Policy No 64 - Advertising and Signage (SEPP 64).

g) Signage is not to cover/obscure architectural detailing or elements

The proposed signage is consistent with the relevant controls under this section of the DCP. Council's Heritage Advisor also raised no concern relating the proposed signage.



4.5 ALTERATIONS AND ADDITIONS TO HERITAGE ITEMS AND IN THE HERITAGE CONSERVATION AREA


<p>4.5.1 Character</p> <p>a) Alterations and additions shall have a style and character similar to the existing. This shall include materials, proportions and details.</p> <p>b) Aspects of work that are not consistent with prevailing character should be confined to parts of the building that are not significant or will not have an impact on the appearance of the place when viewed from the public realm.</p> <p>c) Building additions that have a different character from the existing shall be done as a separate "pavilion" that may be "linked" or sensitively connected to the significant structure.</p> <p>d) Verandah's on the primary face of the building or visible from the public domain shall not be enclosed.</p> <p>e) Alterations and additions should not require the destruction of important elements such as chimneys, windows and gables. Demolition of such elements may not meet the objectives of these guidelines.</p>	<p>Yes</p>
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	<p>f) Distinctive elements that contribute to a place's character shall be retained.</p> <p>The proposal is not inconsistent with the character of the area and especially with the character or existing structures located on the showground. The site contains existing sheds and pavilions of a similar nature to the one proposed under this application.</p>	
4.5.2	<p>Siting and orientation</p> <p>a) Additions and alterations should be sited and orientated in a manner that is consistent with the original. For most historic structures in Queanbeyan this will mean additions and new structures should be aligned orthogonally (ie using straight lines and right angles rather than oblique angles and curves).</p> <p>b) Extensions should not be made to the front of heritage items.</p> <p>The pattern of development of the site does not have a consistent nature. The siting of the pavilion responds sufficiently to the existing layout of structures on the site.</p>	Yes
4.5.3	<p>Form</p> <p>a) The form of the original building should remain evident or "legible" after the additions have been completed.</p> <p>b) New work should have similar overall proportions and a similar roof pitch to the original. For example, new windows in a building that has vertical sashes should also have vertical sashes, and extensions to a dwelling with a 25 degree roof pitch should be designed with the same pitch.</p> <p>c) The form of additions should draw on that of the parent structure so that the new work is in harmony with the original.</p> <p>d) Where the form of the addition is not similar to the original, it shall be designed as a separate entity that is linked back to the heritage building.</p> <p>Roof pitch, built form, bulk and scale of the pavilion is consistent with existing structures on the site. It will not cause any significant unacceptable streetscape impact. Additionally, Council's Heritage Advisor has not opposed the development regarding its built form.</p>	Yes
4.5.4	<p>Scale Height and Bulk</p> <p>a) The ridgeline of new development shall generally be no higher than existing.</p> <p>b) Minor increases in ridge height (to a maximum of 750mm) may be acceptable if designed to harmonise with the main roof and not have an adverse impact on the building's aesthetic proportions when viewed from the street (Figure 13).</p> <p>c) Proposed additions with roof heights higher than the existing should be designed as a separate structure that may be linked to the parent building (Figure 14).</p>	Yes

	<p>d) New work that may increase the apparent scale or bulk of the building or component elements shall be “broken up” and articulated through the use of varied materials, change of colour and tone, use of string-courses, rebates and the like. This is especially important where new work connects to the existing building.</p> <p>e) Second storey additions or freestanding pavilions will generally not meet the objectives of these guidelines. Undercrofts on sloping land may be acceptable if other planning conditions can be met. Materials and colours of undercroft walls shall vary from the wall above to reduce apparent scale.</p> <p>The building is a separate structure to existing buildings located on the site. Despite this, ridgelines, roof pitch, and bulk and scale are consistent with the existing nature of development on the site. There is sufficient break up in roof form and the building layout that it is articulated sufficiently to create visual interest. No blank walls are proposed.</p>	
4.5.5	<p>Setbacks</p> <p>a) Additions shall not be made to the front of individually listed heritage items and/or contributory buildings whether or not in a Conservation Area, other than in exceptional circumstances such as the reinstatement of the building’s original form (Figure 15).</p> <p>b) Additions to the street frontage of non-listed buildings shall be consistent with adjacent buildings in the street in terms of setback and streetscape impact.</p> <p>Side Setbacks</p> <p>a) Additions to the sides of buildings should be set back from the front façade so that it remains the primary face of the building.</p> <p>b) As a general guide new walls should be set back 900mm or more behind the adjacent front wall and sit behind a line drawn at 45 degrees from the front corner of the dwelling (not including the verandah)</p> <p>Setbacks and Street Pattern</p> <p>a) Front and side setbacks should be consistent with the predominant street pattern</p> <p>The site does not contain a consistent setback pattern. The siting of the pavilion is considered appropriate. Council’s Heritage Advisor offered no objection to the location of the pavilion.</p>	Yes
4.5.6	<p>Site Coverage</p> <p>a) The built area should not cover more than 50% of the site area for allotments that are 1,000 square metres or less, and 33% for allotments over 1,000 square metres.</p> <p>b) Hard paving between the dwelling and front boundary shall be limited to a pedestrian path and a driveway. The front</p>	Yes

	<p>garden area shall not be hard-surfaced for any purpose including car parking, vehicle turning, etc</p> <p>Built coverage of the site is significantly lower than 33%. 2149m² on a site 38,460m² in area (5.5%).</p>	
4.5.7	<p>Building Materials</p> <p>a) Significant fabric should be retained or restored wherever feasible.</p> <p>b) Materials used for alterations should be very similar to the existing. Where materials have been changed over time, new materials should be consistent with what was likely to have been used historically.</p> <p>c) Materials should be chosen so that alterations blend seamlessly with the original. For example, decayed timber windows should be replaced with new timber windows, not aluminium. Similarly, asbestos fibro sheeting should be replaced with modern fibre cement sheeting, also with battens over the joints if previously existing.</p> <p>d) False brick, “hardiplank” and metal or vinyl weatherboards are unlikely to be original fabric and can be removed and replaced with more sympathetic materials that compliment the heritage values. Note that some versions of false brick are bonded onto an asbestos-rich substrate and should only be removed in an approved manner.</p> <p>e) In the case of linked additions there is more latitude in the selection of new materials although they should be sympathetic to building materials used in the original building or those typically used on the same type of structure (for example a weatherboard extension to an existing brick house can be considered appropriate).</p> <p>f) Full brick extensions to timber-framed cottages are unlikely to be considered “sympathetic” to the original and are unlikely to meet the objectives of these guidelines unless built as a “linked pavilion” not readily visible from the public realm.</p> <p>g) Materials should not be altered unnecessarily. For example, historic face brick walls should not be rendered with cement.</p> <p>Materials are appropriate for the site, which contains a number of iron/clad sheds. The above controls are aimed more predominantly at extensions to heritage dwellings. And enforcement for a development of this type is considered inappropriate.</p>	Yes
4.5.9	<p>Windows and Doors</p> <p>a) Where relevant, timber windows should be replaced with new timber windows of similar proportions and design. Cottages that have timber windows in need of replacement shall use new timber windows on the front and publicly visible sides of the house.</p>	Yes

	<p>b) Where visible from the street, the original window and door arrangements within the wall should be retained or reinstated, especially on the front elevation. There is more latitude for variation further back on side elevations.</p> <p>c) On prominent historic elevations where additional windows are desired to obtain extra light in a room, two windows of the original proportion should be installed rather than one large window of modern proportion.</p> <p>d) Windows and doors on extensions should reflect the same proportion and relationship to the wall as the original and be appropriate to the style of the house.</p> <p>e) Windows and doors on linked pavilions may be in a contemporary style if otherwise compatible.</p> <p>f) Contemporary materials such as aluminium framing to windows are not appropriate for heritage items unless in a contemporary styled extension, and preferably to the rear of the listed dwelling.</p> <p>Materials for windows and doors are consistent with adjoining structures. Utilising aluminium. Noting the above-mentioned controls are aimed towards dwellings and dwelling alterations and additions. The proposal was reviewed by Council's Heritage Advisor who had no objection to the proposed materials.</p>	
<p>4.5.10</p>	<p>Paint and Colour</p> <p>a) External colour schemes must be sympathetic to the heritage characteristics of the building. This includes both the colours chosen and the parts of the building to which they are applied. Owners may develop their own sympathetic colour scheme or use one based on established literature such as <i>Colour Schemes for Old Australian Houses</i> by Evans Lucas Stapleton, or <i>The Californian Bungalow in Australia</i> by Graeme Butler.</p> <p>b) Previously painted fabric may be repainted in a colour that is appropriate to the period of the building. Painting options include:</p> <ol style="list-style-type: none"> i. Repaint the building based on its original colour scheme following investigation, analysis of paint scapes and historic photos etc, ii. Repaint the building based on a colour scheme that was typical of the period, iii. Repaint the building in a colour scheme that harmonises with its context and is consistent with its character. <p>c) The use of highly reflective, overly bright colour schemes is inappropriate on a historic building and within the Conservation Area.</p> <p>d) On commercial buildings the use of corporate colour schemes needs to be sensitively tailored to the architectural character of the building. Broad-scaled application of bright or corporate colours is not appropriate above the awning or on</p>	<p>Yes</p>

	<p>the parapet and is unlikely to meet the objectives of these guidelines.</p> <p>e) Historic building fabric that has not previously been painted should not be painted. Face brick and stone, in particular, should not be painted. Timber that has been oiled and/or shellacked should be treated with a clear finish.</p> <p>Exterior finishes are provided below under Section 4.6. No overly bright or reflective materials are used. The design, including paints and materials are appropriate for the site.</p>	
4.6	NEW BUILDINGS (DWELLINGS AND COMMERCIAL)	
4.6.1	<p>New Buildings in Heritage Conservation Areas</p> <p>a) The design of a new building in the Conservation Area shall have due regard to its context and shall be sympathetic in terms of character, scale, height, form, siting, materials, colour and detailing. Design shall be preceded by detailed analysis of context, and Development Applications shall include street elevations of adjacent properties to demonstrate how the proposal fits with its context.</p> <div data-bbox="427 900 772 1146" style="border: 1px solid black; padding: 5px; margin: 10px 0;"> <p>Exterior Finishes</p> <p>Roof Sheeting, Gutters, Downpipes, Window Frames and Doors: Colorbond Woodland Grey</p> <p>Walls: Main Colorbond Windspray</p> <p>Walls: Feature, and Exposed Rafters Colorbond Paperbark</p>  </div> <p>Finishes and materials are appropriate for the site. The bulk and scale of the pavilion structure is minimal in context with the larger site and existing structures. The development is considered to meet this control of the DCP.</p> <p>The height is consistent with existing buildings on the site and it is articulated sufficiently to reduce bulk and scale.</p>	Yes

4.15(1)(a)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15(1)(a)(iv) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development does not involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

4.15(1)(a)(v) any coastal zone management plan

Council is not subject to a coastal zone management plan.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Anticipated environmental, social, and economic impacts are minimal.

4.15(1)(c) the suitability of the site for the development

The subject site is relatively unconstrained and is considered suitable in its current state for the purposes of the proposed development.

4.15(1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with the QPRC Community Engagement and Participation Plan from 29th of March 2019 to the 10th of May 2019 with **two (2)** submissions received, raising the following concerns:

Concerns

- The uniform concern was that Council might be confronted with a development application that was outside the specifications of a Showground,
- The trust created by legislation appointed Queanbeyan City Council to manage the affairs of the new trust. Queanbeyan City Council was required to prepare a plan of management within 3 months of 1 December 1995. Where is that plan of management? Have any variations or amendments been made to it? Can we please have a copy of it? (Sent 30/4/2019),
- The kinds of development that will excite vigorous opposition include use of the property as a music festival involving extremely loud noise (whether one-off for one day or continuously for a period of time), any activity involving illicit drug taking, any activity facilitating homelessness, a caravan park/camping area (whether permanent, casual or temporary) and/or any activity of a blatantly commercial kind. We are quite happy for the Showground to be used for a circus, activities involving animals (horses in particular), horse trotting venue (race course events), Gymkhana, school sports events, swap meets and such other activities as are consistent with Showground, a sporting arena, public reserve and community expectations. The recent use of the Showground by Clearwater as a camping and caravan venue for 7 or 8 days certainly offended the spirit of intention as a Showground and Council's blatant use of the eastern end as a car public park which is now not associated with Showground activities also probably offends the spirit of intention as a Showground and,
- The new shed proposed to be constructed adjacent to the existing office building, according to the SEE, will "provide shelter for 2 minibuses owned by QPRC". Shelter for 2 minibuses is hardly an activity ancillary to a Showground. We can well imagine that storage of grass cutting machinery is an ancillary activity! We do not oppose the construction of the shed; we do oppose the proposed use of the shed! QPRC is the client of the applicant. Can you assure us that the development application will be amended to exclude reference to shelter for 2 minibuses?

Assessing Officer's Comments

A pavilion, wood chopping area, signage, and upgrade to driveway access are not outside the scope of use of a showground. And are considered appropriate for the site.

The Plan of Management is quite an old document (December 2003) which needs to be reviewed. The construction of a pavilion does not trigger the requirement for a review of this document although it will be considered as part of that review.

Events that generate noise are subject to complying with relevant EPA noise guidelines. As well as general Council noise guidelines and conditions under any relevant S68 approval or other processes as relevant. The subject proposal is not specifically for the use of the site as a 'showground' which it is already approved for. And it is considered unreasonable to impose any restriction that would limit noise or events under the subject proposal for a pavilion and other associated upgrades to the site.

The shed referred to above has been removed from the development application.

4.15(1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

SECTION 64 CONTRIBUTIONS

Section 64 of the *Local Government Act 1993* allows contributions to be levied towards the provision of water, sewerage, and stormwater infrastructure.

Section 64 Contributions are applicable to the proposed development.

<u>Water ETs*</u>	<u>Zone</u>	<u>Sewer ETs**</u>	<u>Zone</u>
5.2	<input checked="" type="checkbox"/> Queanbeyan <input type="checkbox"/> Jerrabomberra	8.19	<input checked="" type="checkbox"/> East <input type="checkbox"/> West

SECTION 7.11 and 7.12 CONTRIBUTIONS

Section 7.11 and 7.12 of the *Environmental Planning & Assessment Act 1979* permits councils to require as a condition of development consent, the reasonable dedication of land or the payment of monies, or both, for development that is likely to require the provision of, or increase the demand for public amenities and public services within the area.

Section 7.11 and 7.12 Contributions are not applicable to the proposed development. The type of development does not trigger 7.11s as relevant at the date of lodgement. The 7.12 Plan came into effect after the lodgement of the DA.

CONCLUSION

The application has been assessed having regard to Section 4.15 of the *Environmental Planning and Assessment Act 1979*, and is considered satisfactory for approval, subject to the recommended conditions of consent.

2021/22 Annual Community Grants
Annual Community Grants Application Form 2021/22
Application ACG212200045 From Captains Flat Community Association
Form Submitted 14 Feb 2022, 3:28pm AEST

Eligibility

* indicates a required field

Applicants: please note

Before completing this application form, you should have read the Qeanbeyan-Palerang Regional Council Donations Policy [here](#).

Up to \$2,000 assistance is available to applicant organisations and individuals, under the Program. In allocating funds, Council will give consideration to the nature of the request, the proposed beneficiaries, equality of access, any recent donations to each applicant, whether previous funds have been acquitted, alternative funding sources and equity of support across the local government area.

Incomplete applications and/or applications received after the closing date will not be considered.

This section of the application form is designed to help you, and us, understand if you are eligible for this grant. It's crucial that you complete these questions before any others to ensure you do not waste your time applying for an unsuitable grant.

If you have any questions in regards to these eligibility criteria, please contact Council's Grants Officer on 6285 6044 or Grants@qprc.nsw.gov.au.

Privacy Management - Personal information provided in this form is required in order to process the application. Provision of the information is voluntary; however, if insufficient information is provided, support for the application will be difficult when considering competing requests. Your personal information will not be used without your prior written permission.

Next steps:

Applications open - 15 March 2021

Applications Close - 5.00 pm, Friday 7 May 2021

Assessment of Applications - 10 May 2021 to late June 2021

Council Meeting decision on successful applications - Qeanbeyan-Palerang Regional Council Meeting 23 June 2021

Applicants notified - late June to early July 2021

Payments for successful applicants - July 2021

IMPORTANT: Please read the information below to assist you in completing your application online.

BEFORE YOU BEGIN

Welcome to the Qeanbeyan-Palerang online grant application service, powered by Smartygrants.

You may begin anywhere in this application form. Please ensure you save as you go. For queries about Council's Donations Policy, application deadlines or questions in this form, please contact us on 6285 6044 during business hours or email Grants@qprc.nsw.gov.au and quote your application number.

If you need help using this form, download the Help Guide for Applicants, and the Frequently Asked Questions (available under the green Help Button at the top of the screen).

NAVIGATING (MOVING THROUGH) THE APPLICATION FORM

2021/22 Annual Community Grants

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On the right hand side of every screen, there is a box which links directly to every page of the application. Click the link to jump directly to the page you want. You can also click 'next page' or 'previous page' on the top or bottom of each page to move forward or backward through the application.

SAVING YOUR DRAFT APPLICATION

If you wish to leave a partially completed application, press 'save' and log out. When you log back in and click on the 'My Applications' link at the top of the screen, you will find a list of any applications you have started or submitted. You can reopen your draft application and start where you left off.

SUBMITTING YOUR APPLICATION

You will find a 'Review' button at the bottom of the Navigation Panel. You will need to review your application before you can submit it. Once you have reviewed your application you can submit it by clicking on 'Submit' at the top of the screen or on the Navigation Panel. You will not be able to submit your application until all the compulsory questions are completed.

Once you have submitted your application, no further editing or uploading of support materials is possible.

When you submit your application, you will receive an automated confirmation email with a copy of your submitted application attached. This will be sent to the email you used to register.

If you do not receive a confirmation of submission email then your submission has NOT been received.

ATTACHMENTS AND SUPPORT DOCUMENTS

You may need to upload/submit attachments to support your application. This is very simple, but requires you to have the documents saved on your computer, or on a zip drive, or similar. You need to allow enough time for each file to upload before trying to attach another file. Files can be up to 25MB each; however, we do recommend trying to keep files to a maximum of 5MB - the larger the file, the longer the upload time. If you are not able to upload a document, please contact us for support.

A number of people can work on the application using the same login details as long as only one person is working at a time. Ensure you save as you go.

Confirmation of Eligibility

I confirm that the applicant complies with all of the following:

- has read and understands Council's Donations Policy
- is able to demonstrate alignment between their project and the aims of this program
- is a not-for-profit organisation (includes educational institutions) OR is an individual, or group of individuals not seeking to profit economically
- is located in (and/or supplies services to) the Queanbeyan-Palerang local government area.
- is able to demonstrate financial viability
- does not owe any reports or money to Queanbeyan-Palerang Regional Council as a result of previous funding or grants
- has the appropriate type and level of insurance for the activities that are the subject of this grant

Please select below: *

Yes No

You must confirm that all statements above are true and correct.

2021/22 Annual Community Grants
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Contact Details

* indicates a required field

Applicant Organisation Details

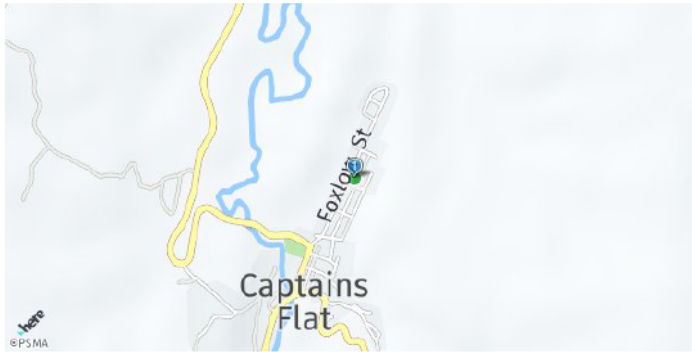
Applicant organisation name *

Captains Flat Community Association

Please use your organisation's full name. Check your spelling and make sure you provide the same name that is listed in official documentation such as with the ABR, ACNC or ATO.

Applicant Primary Address

204 Foxlow St
Captains Flat NSW 2623 Australia



Applicant Postal Address *

204 Foxlow St
Captains Flat NSW 2623 Australia
Address Line 1, Suburb/Town, State/Province, Postcode, and Country are required.

Applicant website (if you have one)

<http://www.captainsflat.org>

Must be a URL

Primary contact person *

Mr Peter Marshall

This is the person we will correspond with about this grant

Position held in organisation *

Treasurer

e.g. Manager, Board Member, Fundraising Coordinator

Primary phone number *

0428 597 227

Must be an Australian phone number.

Back-up phone number

Must be an Australian phone number.

2021/22 Annual Community Grants

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Primary contact person's email address *

peter.c.marshall@bigpond.com

This is the address we will use to correspond with you about this grant.

Organisation Details

What is your organisation's primary purpose and activities?

Representing the interests of the community of Captains Flat, and organising community activities such as markets, seniors support.

What type of not-for-profit organisation are you?

- Educational institution (includes pre-schools, schools, universities & higher education providers)
- Religious or faith-based institution
- Philanthropic organisation
- Peak body
- Social enterprise
- International NGO
- Professional association
- Healthcare not-for-profit
- Community group
- Political party / lobby group
- Other:

Please choose the option that best applies to your organisation. Please choose only one option.

Number of members in the organisation

20

Must be a number.

Project Details

*** indicates a required field**

Please tell us why you need financial assistance from Council i.e. what financial resources are available to your organisation and why they are not sufficient for your project / event. *

The Captains Flat Community Association has limited ability to generate income, but its activities often require the hire of council facilities, as well as other outgoings such as Public Liability Insurance.

The Captains Flat Seniors operates under the auspices of the Community Association, and meets weekly in the Multipurpose Heath Centre. This incurs a hire fee from QPRC.

Estimated 50 bookings per year at \$20 per booking (four hours).

Sample invoice attached.

2021/22 Annual Community Grants
Annual Community Grants Application Form 2021/22
Application ACG212200045 From Captains Flat Community Association
Form Submitted 14 Feb 2022, 3:28pm AEST

Describe how your project (or venue hire) will benefit the Queanbeyan-Palerang local government area community

The weekly seniors meetings foster social cohesion, connectedness and support for older people in Captains Flat, which is 25km from any more formal supports.

Who are the primary beneficiaries of this project/program?

Age groups > Adults (people aged 18+) > People aged 65-84

Age groups > Adults (people aged 18+) > People aged 85+

No more than 5 choices may be selected.

Please choose only the group/s that are at the very core of this project/program

Funding Category

Applicants may apply for Category A funding, or Category B funding, or both. Applicants may apply for total funding of no more than \$2,000.

Category A funding provides general assistance to support a wide range of activities which provide a community service within the Queanbeyan-Palerang region. This includes the relief of poverty or provision of assistance to less advantaged persons through welfare services or facilities, education, transport and housing services. The aim is to support activities that build community capacity, foster social networks and information exchange, facilitate cooperation and build on existing community strengths.

Category B funding provides a non-monetary donation of either full or partial payment of venue hire or lease of Council venues and facilities, for those unable to meet this cost.

Are you applying for *

- Category A only
 Category B only
 Both Category A and Category B

Category B venue hire

Name of function/s to be held

Weekly Seniors Meetings

\$20 per four-hour booking

Primary purpose of function/s for which you are seeking a venue hire donation

Social support, cohesion and connectedness.

e.g. fundraising, appreciation event, exhibition, regular meetings and gatherings

Name of Council Facility/s you wish to hire

Captains Flat Multipurpose Health Centre

Booking confirmation and quote to be attached with this application

Budget Summary Category B

Total cost of hire of the venue/s

\$1,000.00

Must be a dollar amount.

Less your contribution

2021/22 Annual Community Grants
Annual Community Grants Application Form 2021/22
Application ACG212200045 From Captains Flat Community Association
 Form Submitted 14 Feb 2022, 3:28pm AEST

\$0.00
 Must be a dollar amount.

Amount of Category B funds sought from this round
 \$1,000.00
 Must be a dollar amount.

Inputs (Budget)

Project Budget (GST exclusive)

Please provide a clear description of the budget items of expenditure. This could include fees, advertising/promotion costs, administration, venue costs, equipment, costs of materials, office supplies etc.

Please include details of other funding you have applied for, whether it has been confirmed or not.

Please also include a realistic estimation of the in-kind contribution from your organisation e.g. volunteer labour at \$25 per hour, and donated materials.

Please do not add commas to \$ figures e.g. type \$1000 not \$1,000 - this will ensure your figures for each table total correctly.

Item of Expenditure	Amount sought from Council	Amount being contributed by your organisation	Amount sought from other sources (e.g. sponsors, income etc)
Weekly booking of centre for four hours	\$1,000.00	\$0.00	\$0.00
	Must be a dollar amount.	Must be a dollar amount.	Must be a dollar amount.

Attachments

Category B applicants please attach a booking confirmation and quote from the Council facility

Filename: Invoice_61113.pdf
 File size: 63.1 kB

Applicants seeking in excess of \$1,000 funding (and/or Category B venue hire) from the Annual

2021/22 Annual Community Grants
Annual Community Grants Application Form 2021/22
Application ACG212200045 From Captains Flat Community Association
Form Submitted 14 Feb 2022, 3:28pm AEST

Community Grants Program, please provide a link to or attach a copy of your most recent Annual Report.

If you do not produce an Annual Report, please provide us with your most recent financial statements (may include a Profit and Loss Statement / Statement of Financial Performance and a Balance Sheet / Statement of Financial Position).

Upload files

No files have been uploaded

or

Provide web link:

Must be a URL

Certification and Feedback

*** indicates a required field**

Certification

This section must be completed by an appropriately authorised person on behalf of the applicant organisation (may be different to the contact person listed earlier in this application form). Applicants who are individual persons or groups of individuals must also complete this Certification and Feedback Section.

I certify that to the best of my knowledge the statements made within this application are true and correct. I am authorised by my group/organisation to complete this form. I understand that if the applicant is approved for this grant, we will be required to accept the terms and conditions of the grant in accordance with Council's audit requirements.

I consent to the information contained within this application being disclosed to or by the Council for the purpose of assessing, administering and monitoring my current and any future Council grant applications. I confirm that all relevant health and safety standards will be met with the project, and that Council does not accept any liability or responsibility for the project.

I understand that if the Council approves a grant, I will be bound by the contents of my application to carry out my project as I have described, and my application will form part of my contractual agreement with the Council.

I agree * Yes No

Name of authorised person *

Mr Peter Marshall
Must be a senior staff member, board member or appropriately authorised volunteer

Position *

Treasurer
Position held in applicant organisation (e.g. CEO, Treasurer)

Contact phone number *

0428 597 227

2021/22 Annual Community Grants Annual Community Grants Application Form 2021/22 Application ACG212200045 From Captains Flat Community Association Form Submitted 14 Feb 2022, 3:28pm AEST

Must be an Australian phone number.
We may contact you to verify that this application is authorised
by the applicant organisation

Contact Email * peter.c.marshall@bigpond.com
Must be an email address.

Date * 14/02/2022
Must be a date

Applicant Feedback

You are nearing the end of the application process. Before you review your application and click the **SUBMIT** button please take a few moments to provide some feedback.

Please indicate how you found the online application process:

Very easy Easy Neutral Difficult Very difficult

How many minutes in total did it take you to complete this application? *

20

Estimate in minutes i.e. 1 hour = 60

Please provide us with your suggestions about any improvements and/or additions to the application process/form that you think we need to consider.

Next Steps

Applications close - 5.00 pm, 15 March 2021

Assessment of Applications - 10 May 2021 to late June 2021

Council meeting decision on successful applications - Queanbeyan-Palerang Regional Council Meeting 23 June 2021

Applicants notified - late June to early July 2021

Payments for successful applicants - July 2021

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

9 MARCH 2022

ITEM 10.1 DELIVERY PROGRAM UPDATE - JULY-DECEMBER 2021

ATTACHMENT 1 DELIVERY PROGRAM UPDATE - JULY-DECEMBER 2021



Delivery Program update

July-December 2021

Delivery Program Update – July-December 2021

Offices: Council headquarters – 256 Crawford St
Bungendore Office – 10 Majara St
Braidwood Office – 144 Wallace St

Contact: P: 1300 735 025
E: council@qprc.nsw.gov.au
W: www.qprc.nsw.gov.au

Front page: Council hosted Christmas events in Braidwood, Bungendore and Queanbeyan during December 2021.



Delivery Program Update – July-December 2021

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Delivery Program Update – July-December 2021

Executive summary

Council is required to report at least every six months on its progress in achieving the actions detailed in its Delivery Program. While the Delivery Program officially expired on 30 June 2021, Council has reported on the first six months of the current Operational Plan.

The update provides information on Council's progress against 147 key performance indicators. Generally, KPIs are recorded as either green (achieved 95-100%), orange (require attention 80-94%) or red (critical <79%). In this report, additional icons have been added to show where a KPI has not been achieved due to the impact of COVID-19 (hollow red) or where a KPI is an annual KPI and is on track to be achieved as of 31 December (hollow orange). Of the 133 KPIs, 97 were rated as on achieved, five require attention, 15 are rated as critical, 10 are on track to be achieved by the end of the financial year and six failed due to Covid-19 restrictions.

In regards to projects, three of the 77 major projects have been completed, 56 are in progress, 10 are yet to start and eight have been delayed.

Significant matters for the period include:

- Dealing with the impacts of a further Covid-19-related lockdown period
- Commence engagement for the review of Council's Community Strategic Plan
- Exhibition of concept designs for the Monaro St upgrade
- Construction of the Bungendore Sports Hub
- Start of construction of the Queanbeyan Civic and Cultural Precinct
- Planning Proposal for the Memorial Park approved by NSW Government
- Bulk earthworks commence on Regional Sports Complex
- Upgrade of Foxlow Bridge in Captains Flat
- Adoption of QPRC Waste Strategy
- Tender awarded for construction of Bungendore Playground
- Tenders called for construction of Braidwood skatepark
- Initial works as part of \$10m Captains Flat upgrade commence (pictured)



During the period, the local government elections were also held with 11 councillors elected on 4 December. In the lead up to the election, Council staff ran information sessions for prospective councillors. The following councillors were elected (in alphabetical order):

- Michele Biscotti
- Louise Burton
- Mareeta Grundy
- Esma Livermore
- John Preston
- Steve Taskovski
- Jacqueline Ternouth
- Edwina Webster
- Katrina Willis
- Bryce Wilson
- Kenrick Winchester



STRATEGIC PILLAR 1
COMMUNITY

A VIBRANT AND ACTIVE QUEANBEYAN-PALERANG

A SAFE, HARMONIOUS AND HEALTHY COMMUNITY LEADING FULFILLED LIVES

COMMUNITY STRATEGIC PLAN KEY GOAL	COMMUNITY OUTCOME
1.1 We build on and strengthen our community cultural life and heritage	The community has a diverse and active cultural environment and takes pride in its rich heritage
1.2 We are an inclusive region with access to opportunities and community support services by those who need them most	The community is welcoming and inclusive and residents feel they are connected and belong
1.3 We are a safe community	The community feels safer and more secure
1.4 We are a learning community	The community has access to a socially inclusive and welcoming library and museum service to allow for the ongoing expansion of our knowledge capacity
1.5 We have an active and healthy lifestyle	Health and quality of life are improved through access to a range of recreation and leisure opportunities

Delivery Program Update – July-December 2021

Major projects – Strategic Pillar 1

A full list of projects associated with Strategic Pillar 1, Community can be found at Appendix 1.

Project	104105 BWD - Pool Upgrade		
Status	In progress	Branch	Recreation and Culture
Budget	Original	Revised	Expenditure to date
	\$600,000	\$970,747	\$25,076
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	A development application was lodged on 5 May 2021 (PAN-96898) . The DA has not been approved at the time of writing.		

Project	104374 BGD - New Bungendore Pool		
Status	In Progress	Branch	Recreation and Culture
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Community engagement has commenced and design work is underway.		





Project	104291 QBN - Aquatic Centre HVAC/ Boiler replacement		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$276,497	\$2,980
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Designs and specifications complete. Staff going to market in early 2022 with works scheduled to commence April/May 2022.		



An artist's impression of the Braidwood pool following the \$1m upgrade project





Delivery Program Update – July-December 2021

Key Performance Indicators – Strategic Pillar 1

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
Service 1 - Culture						
P: Community Gathering O: Community Centres	Income Return vs Expenditure >15%		15%	141%	Recreation and Culture	Identified QPRC Community Centres are – Braidwood (Cost Centre 3111), Bungendore (3112), Captains Flat (3113), Googong (3115), Jerrabomberra (3120), Letchworth (3110), Library and Riverside (3114). Financial figures taken from OneCouncil as of 4 January 2022. Income - \$112,582 and Expenses (including salary estimates) - \$79,696. As a percentage – 141.3%. Total bookings taken from Intelligenz booking system. <ul style="list-style-type: none"> • Braidwood - 7 • Bungendore Community Centre - 217 • Bungendore Multipurpose Hall - 24 • Captains Flat - 23 • Googong - 114 • Jerrabomberra 364 (goal of 1,109) • Karabar - venue sold (279) • Letchworth- 96 (322) • Library - 12, venue currently not available (163) • Riverside - 17 (162) Total of 874 bookings of a goal of 2,035. Currently tracking at 43%.
	Number of unique hirers p.a. - At least 100 p.a.		100	92	Recreation and Culture	92 unique hirers have used identified QPRC Community Centres thus far.
P: Events O: Economic & Community Events	Community satisfaction with events increasing >75%.		75%	100%	Community Choice	Council was able to run three Christmas events in late 2021. Satisfaction with events was high.
Service 2 - Community						
P: Customer O: Integrated customer service	% Unresolved triaged service requests < 20%		20%	47%	Customer and Communications	11,355 service requests were raised from 1 July - 31 December 2021. At the time of reporting 5,298 remain in 'Current' status which represents 46.65% of requests raised during this time period. This does not necessarily mean the requests have been unactioned. More likely, as reported previously, staff may not have the resources, time or knowledge for how to close requests off.



Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
	Call abandonment rate < 10%		10%	11%	Customer and Communications	Total number of calls received from 1 July 2021 - 31 December 2021 was 13,813. Of these calls, 12,349 were answered. This equates to a 10.5% abandonment rate for the 6 month period. Peak times for incoming calls occur around 9.30-10.45am and in the afternoon around lunchtime and after 3pm. There are only 7 concurrent licences available within the Genesys call handling system, meaning only 7 CSOs can be logged in and receiving calls. A burst rate kicks in (additional cost) if more than 7 staff are logged in at any given time. The burst rate is a fairly significant charge. Whilst counter services were suspended for several weeks during this period of time due to COVID-19, cashiering and property file work were still undertaken by staff via phone or email to ensure continuity or service. In addition, for several weeks casual staff were unable to work from home or return to the office due to restrictions in place, therefore resources covering call centre services were reduced somewhat.
P: Engagement O: Community Engagement	Increase in subscriptions to Council's online engagement hub - 20% per annum		20%	9%	Customer and Communications	Subscribers have increased by 272 from 3,050 at 30 June 2021 to 3,322 at 1 January 2022. This is an increase of 9%.
P: Indigenous O: Reconciliation Action Plan	Ongoing implementation of initiatives identified in the Reconciliation Plan - At least 4 initiatives p.a.		4	6	Community and Education	A new Reflect Reconciliation Action Plan is being developed and the RAP Working Group has been formed (10 Members). New initiatives will be developed for the coming FY. NAIDOC Week was Held in July 21 with a special community Movie Event. New ACC is being formed within newly elected Council. Aboriginal Community Liaison Officer delivered a presentation to the QPRC Diversity and Inclusion Committee on the 50th Anniversary of the Tent Embassy in Canberra. More than four events were held in first half of 2021-22
Service 3 - Education						
P: Animals O: Companion Animal Management	Annual inspection of properties containing dangerous/ menacing dogs in the Local Government Area		100%	100%	Customer and Communications	Declared dogs have left the area.

Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
	Dog attacks response to within 48 hours >75%		90%	90%	Customer and Communications	90% of dog attacks were responded to within 48 hours after being alerted to Animal Management Officers. The remaining 10% took additional time due to customer requests via P&R not being received in time or the attack being reported more than 24 hours after the initial incident.
P: Library O: Collection Management	Satisfaction with Library service increasing > 5% pa		5%	5%	Community and Education	Covid disruptions led to changes in the way Library services were delivered. Click and collect and Click and Deliver services were well received by the community when the library could not open. Online services have increased including children's activities, film streaming services, and access to resources. Mobile Services continued to support remote and rural communities.
	Circulations – growth in loans including e-resources per year > 5% p.a		5%	5%	Community and Education	Covid has had an impact on all library services however online resources have been heavily used during this time. Increased resources have been purchased including film streaming services, children's story times and other online events and programs. The new Library App is a great success. Websites have been made easier to use and customers encouraged to try audio books and other online resources accessible from home.
	Mobile Library usage - On the road at least 4 days per week		100%	80%	Community and Education	The Mobile Library has been meeting the normal schedule with increased time at Bungendore to make up for lack of services within the school. Damage to the vehicle has temporarily suspended services over the recent holiday period (late December)
	Registered library members >50% of population - 30,000		30,000	31,443	Community and Education	Membership continues to be consistent - there have been small increases in membership over the last six months as patrons join to use online resources.
Service 4 - Recreation						
P: Sportsfields O: Sportsfields - Maintenance	Sportsfields maintained to user satisfaction >90%		90%	100%	Urban Landscapes	Sportsfields continued to be maintained to a very high standard. The very wet weather did cause the need for additional mowing and removal of excess grass. Covid did cause some minor staff shortages, however the team were able to meet Council's commitments to the sporting community.

STRATEGIC
PILLAR

2

A PROSPEROUS QUEANBEYAN-PALERANG

CHOICE

A DIVERSE, RESILIENT AND SMART ECONOMY THAT
 CREATES CHOICE AND JOB OPPORTUNITIES

COMMUNITY STRATEGIC PLAN KEY GOAL

COMMUNITY OUTCOME

2.1 We will continue the ongoing revitalisation of the Queanbeyan CBD, suburban centres and rural villages

The city and village CBDs are dynamic and thriving places which attract economic activity

2.2 We will promote Queanbeyan-Palerang as a tourism destination of choice

The region has a thriving tourism sector built upon the economic and environmental advantages the region provides

2.3 Our local businesses are well run and environmentally sound ensuring quality services and high level risk management

The region's businesses underpin good economic performance with a sound public risk management approach

Delivery Program Update – July-December 2021

Major projects – Strategic Pillar 2

A full list of projects associated with Strategic Pillar 2, Choice can be found at Appendix 1

Project key: * = grant funding carried over from previous financial year. ** = project is reliant on grant funding. *** = Election promise – awaiting confirmation on funding arrangement.


Project	104092 QBN - City of Champions Walk **		
Status	In Progress	Branch	Business and Innovation
Budget	Original	Revised	Expenditure to date
	\$2,000,000	\$2,000,000	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Funding secured. Awaiting Funding deed from NSW govt. Expect execution in Feb 22		

Delivery Program Update – July-December 2021

Key Performance Indicators – Strategic Pillar 2



Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
Service 11 - Business						
P: Economic O: CBD Transformation Strategy	Ongoing implementation of actions identified within the CBD Transformation Strategy - At least 4 actions p.a.	●	4	6	Business and Innovation	<ul style="list-style-type: none"> • Monaro St upgrade continues • Monaro Lanes upgrade continues with civil works expected to start in March 2022 • Place Assessments complete at 4 x sites in Qbn CBD • Town Centre Performance Framework complete • Disability Audit complete • Crawford St activation commenced (cable drums and chairs)
P: Economic O: Economic Development	Key actions identified for implementation on an annual basis - 4 actions p.a.	●	4	16	Business and Innovation	<p>1.1</p> <ul style="list-style-type: none"> • An MoU has been signed between UC and QPRC in 2021 related to the Poplars Innovation Precinct. • QPRC is working with University of Wollongong (UoW) to deliver entrepreneurial workshops in 2022 (grant funded). • QPRC in discussions with UTS and UNSW re advanced manufacturing programs for industry • QPRC investigating collaboration with CSIRO/Dept Education on delivering STEM programs in schools to align with Sth Jerra Regional Jobs Precinct <p>1.2</p> <ul style="list-style-type: none"> • Currently progressing the development of an internal QPRC Smart City Working Group to build cross branch capacity. <p>1.7</p> <ul style="list-style-type: none"> • QPRC is collaborating with RDA Southern Inland through a Business and Industry Telecommunications Forum to develop a stronger base of advocacy, both for the business cases of local technology businesses, local technology infrastructure investment and for the connectivity requirements of local businesses and residents. <p>1.9</p> <ul style="list-style-type: none"> • Currently collaborating with Transport for NSW and DPIE on a regional ITS for SE NSW including the ACT (10 year view) <p>2.1</p> <ul style="list-style-type: none"> • Blacksmiths Lane and No Name Lane upgrade underway (\$505k grant funding – My High St DPIE grant) • QCCP in progress • Rutledge St properties sold <p>2.3</p>

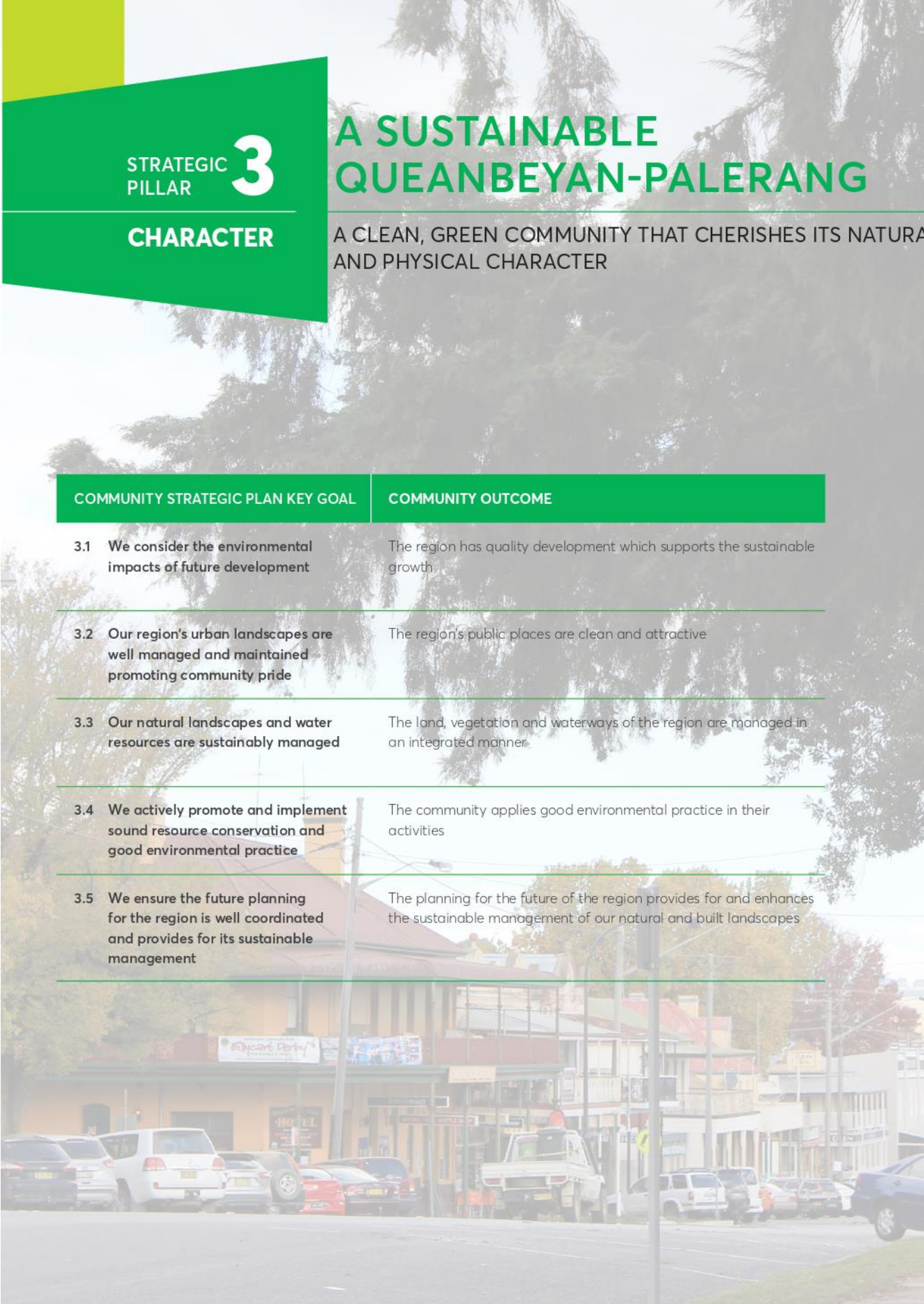
Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
						<ul style="list-style-type: none"> • Facade improvement grant released to Braidwood, Bungendore and Queanbeyan – 11 applicants • Other measures to be considered as part of Monaro St upgrade business support package <p>3.3</p> <ul style="list-style-type: none"> • Qbn Regional Sports Precinct Business Case complete. Stage 1 construction in progress <p>3.4</p> <ul style="list-style-type: none"> • QPRC is collaborating with Dept Regional NSW and TAFE NSW to reinvigorate TAFE offerings in Queanbeyan. QPRC is also part of the Federal Government Local Jobs Taskforce https://www.dese.gov.au/local-jobs-program/resources/capital-local-jobs-plan that has prioritised the skills gap and social barriers as an issue to employment that it is planning to address up to 2025 <p>3.10</p> <ul style="list-style-type: none"> • An Intermodal study is being undertaken as part of the Sth Jerrabomberra Regional Jobs Precinct Master Plan <p>4.8</p> <ul style="list-style-type: none"> • Treasure Trail campaign has continued including video production, social media content and Local Guides launch <p>4.9</p> <ul style="list-style-type: none"> • The Tablelands have begun work on an Events Framework (2.3 of the Tablelands Destination Development Plan) and industry development (2.4).
P: Tourism O: Tourism Planning	Visitor numbers show increasing trend p.a. - >2% increase p.a.		2%	10%	Business and Innovation	<p>In the six months to Sep 2021 (the latest reporting period by Tourism Research Australia), there was a 9.6% year-on-year increase in overnight and a 7.4% increase day visitors to Queanbeyan-Palerang. Relevant competitive sets experienced significant decline in the latest reporting period; by comparison, the ACT declined 1% in overnight visitors and 24% in day visitors, while non-coastal regional NSW declined 5% in overnight visitors and declined 19% in day visitors. (Source: Tourism Research Australia, interpreted by Tourism Solutions.) Increased YOY expenditure in the businesses of Queanbeyan-Palerang by visitors (>50km) during this period was \$2,681,475 (source: spendmapp.com.au).</p> <p>Noting the small sample size of the data and the associated margin for error, available data points to Queanbeyan-Palerang significantly</p>



Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
						outperforming competing regions; this reflects the strategic focus on destination awareness and tactical promotions to convert potential visitor intent to increased visitation and associated expenditure.
Service 12: Health						
P: Food/Premises O: Food Safety	Undertaking inspections required by the Food Authority partnership agreement - 100% of food premises inspected annually		100%	40%	Natural Landscapes and Health	41 out of 67 target inspections completed. Due to COVID no inspections were undertaken in the first three months of the financial year.
P: Food/Premises O: Surface Water Monitoring	Regular testing of sites across the LGA - 9 sites tested monthly		108	54	Natural Landscapes and Health	On target with monthly surface water monitoring program.



STRATEGIC PILLAR **3**
CHARACTER

A SUSTAINABLE QUEANBEYAN-PALERANG

A CLEAN, GREEN COMMUNITY THAT CHERISHES ITS NATURAL AND PHYSICAL CHARACTER

COMMUNITY STRATEGIC PLAN KEY GOAL	COMMUNITY OUTCOME
3.1 We consider the environmental impacts of future development	The region has quality development which supports the sustainable growth
3.2 Our region's urban landscapes are well managed and maintained promoting community pride	The region's public places are clean and attractive
3.3 Our natural landscapes and water resources are sustainably managed	The land, vegetation and waterways of the region are managed in an integrated manner
3.4 We actively promote and implement sound resource conservation and good environmental practice	The community applies good environmental practice in their activities
3.5 We ensure the future planning for the region is well coordinated and provides for its sustainable management	The planning for the future of the region provides for and enhances the sustainable management of our natural and built landscapes

Delivery Program Update – July-December 2021

Major projects – Strategic Pillar 3

A full list of projects associated with Strategic Pillar 3, Character can be found at Appendix 1

Project key: * = grant funding carried over from previous financial year. ** = project is reliant on grant funding. *** = Election promise – awaiting confirmation on funding arrangement.

Project	100184 QPR - Regional Sports Complex - Stage 1 and 2		
Status	In Progress	Branch	Urban Landscapes
Budget	Original	Revised	Expenditure to date
	\$14,038,462	\$7,719,000	\$510,018
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Bulk earthworks underway, civil works now being carried out under SEPP(Infrastructure) 2007 and REF. DA still delayed, by Regional Planning Panel.		



The first sod was turned on the site of the Regional Sports Centre near Jerrabomberra in late 2021.

Project	100285 QBN - Showground Pavillion & Storage *		
Status	Delayed	Branch	Urban Landscapes
Budget	Original	Revised	Expenditure to date
	\$613,520	\$575,885	\$2,250
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Heritage NSW have finally issued GTA for this project to allow the DA to be finalised. However, the grant time has now expired and a letter seeking extension must be approved by the minister.		

Delivery Program Update – July-December 2021

Project	100557 BWD - Braidwood Recreation Ground Construction		
Status	In Progress	Branch	Urban Landscapes
Budget	Original	Revised	Expenditure to date
	\$250,000	\$250,000	\$25,762
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Rain has caused some delays for contractors, however it is anticipated irrigation, field extension and playing surface will be completed early 2022.		

Project	104244 QBN - Moore Park improvements **		
Status	Not Yet Started	Branch	Urban Landscapes
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Grant funding not successful		

Project	104516 BGD - Construct Bungendore Playground - LRCI		
Status	In Progress	Branch	Urban Landscapes
Budget	Original	Revised	Expenditure to date
	\$336,538	\$673,033	\$3,325
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Contract awarded. Construction due to commence onsite February 2022		

Project	104572 BWD - Braidwood Skatepark - BLERF		
Status	In Progress	Branch	Urban Landscapes
Budget	Original	Revised	Expenditure to date
	\$680,660	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Detailed design complete and Tender called. Report going to January Council meeting to award contract.		

Project	760502 QPR - Memorial Park Site Studies		
Status	In Progress	Branch	Urban Landscapes
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2021		
Comment	Planning Proposal complete and approved by Minister. Detailed design and further studies underway to facilitate DA documentation		

Delivery Program Update – July-December 2021

Key Performance Indicators – Strategic Pillar 3

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
Service 21 - Development						
P: Development Assessment O: Development Applications	Dwellings development applications processed within statutory timeframe	●	90%	60%	Development	Issues of 2020 have persisted through 2021. Compounding this, there have been significant ramifications due to Covid and in relation to staff working from home, unreliability of IT systems, and general internet deficiencies. QPRC has fared better than average when compared to other similar regional councils.
	DAs lodged and assessed online via e-portal	●	70%	100%	Development	All development applications must be submitted via NSW Government's planning E-portal.
Service 23 – Urban Landscapes						
P: CBD O: CBD Street Cleaning	Urban street cleaning program delivered to agreed standard - Footpaths swept daily basis – QBN CBD, Footpaths swept weekly - Bungendore/ Braidwood town centres	●	100%	100%	Urban Landscapes	Street sweeping and cleaning programs all on track
P: Parks/Playgrounds/ Sportsfields O: Parks and Reserves (including Showgrounds)	Maintenance of grounds and facilities in accord with adopted standards in the Asset Management Plan	●	100%	100%	Urban Landscapes	Although a very wet season and a number of staff were isolated due to contracting Covid, staff have managed to keep the programs on track.
P: Public Amenities O: Public Conveniences	Public conveniences maintained to agreed standard - CBD and town centre toilets cleaned daily, Other urban and rural toilets cleaned weekly	●	100%	100%	Urban Landscapes	All Urban Toilets cleaned daily and on time.
Service 24 – Natural Landscapes						
P: Biodiversity O: Native Species conservation works	No net loss in native vegetation condition on council land - >90% of activities scheduled for council natural area land completed.	●	90%	90%	Natural Landscapes and Health	Mount Jerrabomberra Plan of Management has been completed. Currently working with contractors on clearing Asset Protection Zones. Weed growth have been an issue this year. Basic maintenance of paths and areas like Glebe Park outdoor classroom and plantings below cemetery.

Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
P: Biosecurity O: Biosecurity weed control on Council land	Weeds on Council land posing a biosecurity risk are properly managed - >90% biosecurity weeds on Council land are properly managed annually	●	90%	90%	Natural Landscapes and Health	Weed control program mostly on target except for minor delays due to wet weather and staff availability.
P: Biosecurity O: Biosecurity weed education, inspection and enforcement	Inspect every property 4 yearly; priority protection sites two yearly and weed sites yearly; high risk pathways 1-3 times per year according to risk - >90% of inspections completed as scheduled.	●	90%	132%	Natural Landscapes and Health	A decrease in private property inspections due to a period of Covid restrictions has been compensated for by an increase in public land inspections. Includes 74% of routine and priority weed site inspections, 160% of priority asset sites and 195% of high risk pathways and sites.
P: Environmental Health O: Environmental Protection and Compliance	Pollution complaints investigated (prioritised according to risk)	●	100%	200%	Natural Landscapes and Health	Between July-December 2021, 236 pollution and risk-related complaints were investigated. <ul style="list-style-type: none"> Air: Smoke – 12, Odour – 3, Dust – 2. Noise: AC and Pool pumps – 7, Music – 15, Power tools – 22, Vehicle – 11, Roosters – 9. Pollution: Waterways – 34, Land – 12, Other – 13. Unhealthy properties – 23, Overgrown properties – 83.
Service 25 - Sustainability						
P: Education O: Environmental education	Community events run by Council with sustainability initiatives promoted - 4 events per year	○	4	0	Natural Landscapes and Health	Tree planting was planned at Bungendore Sports Ground in September. Due to Covid, arrangements changed and staff planted 80 trees.
Service 26 – Land-Use Planning						
P: Community Land O: Plans of Management (PoM)	Compliance with all legislative and Council requirements for Plans of Management - One community land Plan of Management reviewed annually.	●	1	1	Land-Use Planning	Under the <i>Local Government Act</i> there are legislative provisions which need to be complied when drafting or review a Plan of Management for community land (PoM). When doing so, staff comply with these. This was the case for major Plan of Management worked on during the reporting period which was a new Natural Areas Plan of Management to include various parcel of Crown Land. Other work done during the period relevant to PoMs included gaining Ministerial approval for the categorisation of 42 Crown Reserves which QPRC are now responsible for and which need to be included in a PoM and submitting a required report to Crown Lands in relation to a grant.


Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
P: Heritage O: Queanbeyan-Palerang's heritage	Heritage Grants and awards provided annually - 100% applications processed and dispersed annually	●	100%	100%	Land-Use Planning	The Heritage Awards will not occur until the next reporting period. In relation to local heritage grants, six applications were received and Council agreed to fund five of them. At the time of reporting this process is continuing. During the period, applications for Main Street Upgrade Fund Grants were also advertised with the result that 12 were funded.
P: Land-Use Planning O: Planning Instruments (LEP/DCP)	Reviews are undertaken on a five-yearly cycle - 100% of principal local environmental plans are reviewed during the five year period	●	100%	90%	Land-Use Planning	Actions taken between July-December 2021 include: <ul style="list-style-type: none"> • Amending the draft instrument and the background report as well as the drafting of other material required to finalise and submit the draft Comprehensive Local Environmental Plan. • Designing a set of grids at various scales to frame the maps. • Preparation of spatial datasets for the mapping. • Developing templates for each map type. • Using the above to produce a total of 199 maps. • Reviewing various sets of comments from the Department of Planning, Industry and Environment (DPIE) and taking appropriate action regarding the maps • Attending a meeting with staff from the Department of Planning, Industry and Environment to explain the background documents and maps before formally lodging them. • Verification by the Land-Use Planning Branch and lodgment of the LEP on the DPIE Planning Portal and submission of all documentation. • Receipt of a Parliamentary Counsel's Opinion in early August 2021 and a draft instrument containing 60 queries. • Preparing responses to those queries. Awaiting notification (gazetted) of this local environmental plan.

Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
P: Land-Use Planning O: Planning Strategies and Policies	Reviews are undertaken and completed on a seven-yearly cycle - 100% completed on time	●	100%	100%	Land-Use Planning	The key strategic planning document is the Local Strategic Planning Statement (LSPS). This incorporates many of the previous strategies that were standalone ones. A number of actions of the Local Strategic Planning Strategy (LSPS) continue to be implemented. These include actions such as drafting appropriate heritage management controls for Braidwood township, continue to provide for heritage grants, heritage advisory service and support for heritage events and preparing contribution plans. Actions required to be implemented and the target times for implementation of each action are found in the Implementation Plan part of the Local Strategic Planning Statement. Completion of actions is an ongoing process and it is anticipated that as these are completed there will be an opportunity to refresh the LSPS. However at this time, a review is required every seven years although this is proposed to be reduced to every five years in a Bill currently before Parliament.
P: Land-Use Planning O: Regional Planning	Reviews undertaken in accordance with the required timeframes in the South East and Tablelands Implementation Plan	●	100%	10%	Land-Use Planning	During this period, a refresh began on the South East and Tablelands Regional Plan (i.e. the source of the actions in the Implementation Plan). This was facilitated by the Department of Planning, Industry and Environment and included representatives of Transport for NSW (TfNSW) who are also developing a South East and Tablelands Regional Transport Plan. Staff attended a Visioning Workshop in November and contributed towards QPRC input into an Integrated Transport workshop facilitated by TfNSW in December.

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Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
P: Spatial/LIS/Naming O: Geographic Information System (GIS) – data layer management	GIS database updated as required - 100% accurate each entry		100%	100%	Land-Use Planning	It is critical that the GIS layers achieve 100% accuracy and GIS staff strive to do this and regularly review layers as new information and/or new software becomes available. This is a continuing process and work continues on maintaining the currency of data and adding new layers as the information becomes available. Recent examples include updating the roads layer as new roads are created and new or existing unnamed roads are named, includes large developments and rural addressing purposes. Other actions during the period include: <ul style="list-style-type: none"> • Automated process has been set up to map Rates categories into the IntraMaps Rates module • On Site Sewer Management Systems locations are now mapped, and land with a related application is mapped automatically from P&R in the Environment and Planning modules • Details of Crown land leases, licenses and permits are being mapped and maintained spatially • Water meters are linked to property as a spatial layer, and a separate table shows consumption figures by meter per billing cycle, updated automatically and available at this stage for GIS users only (not yet in IntraMaps) • Contaminated land – spatial data for sites is being maintained and site audit statements updated as required • 13RVM (building envelope) forms – amended building envelopes are available through IntraMaps where they have been able to identify where they exist.

STRATEGIC
PILLAR

4

A CONNECTED QUEANBEYAN-PALERANG

CONNECTION

A WELL CONNECTED COMMUNITY WITH GOOD INFRASTRUCTURE ENHANCING QUALITY OF LIFE

COMMUNITY STRATEGIC PLAN KEY GOAL	COMMUNITY OUTCOME
4.1 Our transport infrastructure and networks are well planned and maintained	The region's transport network and infrastructure allows for the safe systems approach which allows for the safe ease of movement throughout Queanbeyan-Palerang.
4.2 We plan for and provide access to potable water supplies for communities across our region	The region's potable water supply systems meet national standards and are managed to adequately meet community demand
4.3 We plan for and provide for the management of sewage, stormwater and recycled water within the communities of our region	The region's sewage treatment, stormwater and recycled water systems meet national standards to support public and environmental health in our region
4.4 We actively promote and implement sound resource conservation and good environmental practice for our waste management systems	The region increases waste minimisation and greater recycling levels of our waste
4.5 We plan for and provide regional facilities which promote better social connection and access for the community	Social connection within our region is provided for via access to a range of community facilities across the region
4.6 We undertake planning to ensure infrastructure is prepared for future growth	Changing community demand is met by well planned for and placed infrastructure

Delivery Program Update – July-December 2021

Major projects – Strategic Pillar 4

A full list of and projects associated with Strategic Pillar 4, Connection can be found at Appendix 1

Project key: * = grant funding carried over from previous financial year. ** = project is reliant on grant funding. *** = Election promise – awaiting confirmation on funding arrangement.

Project	100119 QBN - Googong Water Recycling Plant		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$200,000	\$200,000	\$44,481
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022	30 Jun 2023	
Comment	Work on the next reservoir at Hill800 to commence on 14 February 2022. Stage D at Water Recycling Plant in August 2022. Expect 18 month build for both		

Project	100123 QBN - Sewage Treatment Plant Upgrade		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$30,195,782	\$30,195,782	\$1,369,078
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100183 QBN - Efficient street lighting upgrades		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Essential Energy is approximately 98% complete with the installation of the LED lighting upgrades. The only remaining installations include decorative and heritage style units.		

Project	100265 QBN - Civic and Cultural Precinct		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$44,983,000	\$21,089,365	\$6,618,031
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100548 BGD - Bungendore Landfill Reinstatement		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$1,400,000	\$2,300,000	\$56,001
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The works tender has been let. Site works currently underway. Expect project to be complete by 30 June 2022		

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Project	100856 QBN - Morisset car park and public domain		
Status	Not yet started	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$6,669,176	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100861 BGD - car park off Ellendon St		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$1,023,000	\$1,023,000	\$1,101,238
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100862 BWD - Car park Wallace St		
Status	Not Yet Started	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$820,000	\$820,000	\$7,555
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100868 QBN - Route N1-N3 Stage 1		
Status	Not Yet Started	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100879 BWD - office smart hub/cultural space		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

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Project	100894 QBN - Monaro St (Lowe to Crawford)		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$12,500,000	\$14,548,027	\$116,111
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100896 QBN - Rutledge car park		
Status	Not Yet Started	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	100972 BWD - Office Refurbish & Smart Hub		
Status		Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$250,000	\$250,000	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	101002 QPR - Local Roads Renewal		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$3,365,385	\$1,935,360	\$1,281
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The local roads renewal program for the 2021/22 financial year is in progress.		

Project	101013 QPR - Road to Recovery Budget Only		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$1,527,709	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The 2021/22 Roads to Recovery program is in progress.		

Project	101296 QBN - Crawford,Antill and Erin Intersection Safety Upgrade		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$640,000	\$662,301	\$33,451
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

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Project	101297 BGD - Rehab Tarago Road Between Mt Fairy and Goulburn Mulwaree border		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$1,000,000	\$1,000,000	\$86,566
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The survey and design for this project is now complete. Land acquisitions for this project have also been agreed with adjacent landowners. Construction is scheduled to commence in February 2022.		

Project	101300 QPR - Local Roads Rehabilitation		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$600,000	\$1,130,025	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The 2021-22 Local Roads rehabilitation projects are in progress.		

Project	101459 QBN - Dunns Creek Road -Design and Land acquisition		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$5,000,000	\$4,807,693	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	102012 BWD - Cooma Rd/Krawaree Rd		
Status	Completed	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$268,000	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	There is no capital works scheduled on Cooma/Krawaree Road funded from the Regional Road Block Grant this financial year.		

Project	102064 NRG - Nerriga Rd Section 3 - Reconstruct widen and seal - Ningeenimble Project		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$7,000,000	\$3,809,484	\$27,551
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Environmental assessments and survey works are now complete. Finalising design and land acquisitions. This project is not fully funded by the remaining grant funds. Council will construct as much as possible with the available funds.		

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Project	102065 NRG - Nerriga Rd Section 4 - Reconstruct widen and seal - Durran Durra		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$1,714,414	\$1,413,953
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Survey, design and environmental approvals has been completed. Construction activities are progressing well onsite with all earthworks and pavement construction activities complete. Sealing is planned for February/March 2022.		

Project	102073 BWD-MR270 Cooma Road Jinglemoney Rd to O'Briens - RRRP		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$762,000	\$746,524	\$2,544
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Stage 2 of this project is ready to commence onsite. All survey and design works have been completed. Additional RRRP funding has been sourced to continue from where the 2020-21 project ended.		

Project	102076 BGD - Roundabout on Malbon St *		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$2,141,697	\$2,149,745	\$1,009,753
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	102088 BWD - Nerriga Rd Section 18 – Construct Intersection with MR51		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$613,003	\$319,775
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Preliminary works onsite have been completed. Council has been waiting for formal approval (WAD) from TfNSW before more significant works can commence onsite.		

Project	102098 CFL - Captains Flat Road Reconstruction		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$2,884,615	\$2,884,615	\$102,342
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Drainage extensions and pavement widening works are currently underway. Pavement stabilisation works are due to commence in March 2022.		

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Project	102113 BWD– Cooma Road - Brick Kiln Bridge Replacement		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$1,311,538	\$1,311,538	\$544,182
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The replacement of this timber bridge with a concrete structure is currently under construction. Due to be completed in March 2022.		

Project	104073 QBN- The Q Performing Arts - Fire System		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$377,330	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	All internal improvement works have been completed. External tank and pumps to be designed and installed in 2021-22 as well as the replacement fire curtain. Works to be incorporated into QCCP project.		

Project	104107 QBN - South Jerrabomberra Northern Entry Road		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$2,000,000	\$8,925,000	\$7,045,460
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	104161 BWD - Mayfield Road – Reedy Creek Bridge Replacement		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$1,056,750	\$43,578
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The bridge componentry is onsite ready for installation. Council has awarded the installation tender to the successful contractor, with works programmed to commence onsite in March 2022.		

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Project	104169 BGD - Mulloon RFS Station – Design and Construction		
Status	Not Yet Started	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$0	\$699,715	\$932
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	104212 BGD - Flood Risk Management Plant Implementation		
Status	In Progress	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$0	\$70,872	\$65,789
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	104249 BWD - Blackspot - Araluen rd – Corridor Safety Treatment **		
Status	Completed	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$0	\$9,443	\$21,850
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	104359 QBN - Shared Path along Lanyon Drive		
Status	Delayed	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	104368 QBN - Williamsdale Road Seal		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$586,830	\$510,219
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	This project is progressing well. All earthworks and pavement works are nearing completion. Sealing works are scheduled for February/March 2022.		

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Project	104370 BWD - Lascelles St Upgrade		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	104458 BGD – Bungendore Office Relocation		
Status	Delayed	Branch	Contracts and Projects
Budget	Original	Revised	Expenditure to date
	\$4,674,000	\$4,674,000	\$1,335,138
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	No progress comment provided		

Project	104513 CFL - Foxlow St - Molonglo River Bridge Replacement - FCB		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$888,462	\$888,462	\$801,208
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The timber bridge has been replaced with a concrete structure. Minor approach works are remaining to be completed. Due for completion in February 2022.		

Project	104514 BWD - Wallaces Gap Rd - Back Creek Bridge Replacement - FCB		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$903,692	\$903,692	\$49,556
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The survey and design for this bridge replacement has been completed. Council will order the bridge componentry in the coming weeks for construction to be completed this financial year.		

Project	104515 BWD - River Forest Rd-Mongarlowe River Bridge Replacement - FCB		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$751,385	\$751,385	\$132,165
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The survey and design has been completed. The bridge componentry has been ordered and is expected to be onsite in February 2022. Works programmed to commence onsite in March/April 2022.		

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Project	104517 BGD - Bridge over Halfway Creek - LRCI		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$312,500	\$611,432	\$316,653
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The bridge componentry has been delivered to Bungendore depot ready for installation. The design team is finalising the bridge design height before construction onsite can begin.		

Project	104518 NER - Bindi Brook Causeway – LRCI		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$288,462	\$564,659	\$6,837
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	The survey and design has been completed. Council to order the box culvert structures and prepare for installation onsite.		

Project	104519 QBN - Williamsdale Rd Extend Seal - LRCI		
Status	In Progress	Branch	Transport and Facilities
Budget	Original	Revised	Expenditure to date
	\$324,326	\$2,662,980	\$19,631
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Survey and design works are nearing completion. Council is planning to commence construction in March/April 2022.		

Project	700031 QBN - Stormwater Improvement Program		
Status	Completed	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$429,808	\$35,117	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment			

Project	700036 BGD - Jim Gray Bore		
Status	Delayed	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$604,983	\$362,202	\$111
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Capital development held up pending dealings with regulator in relation to viable fractured rock allocation. Negotiations in train.		

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Project	700037 BGD - Bungendore East Bore		
Status	Delayed	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$617,733	\$474,202	\$59,925
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Capital development held up pending dealings with regulator in relation to viable fractured rock allocation. Negotiations in train.		

Project	700038 BGD - Currandooley Clear Water delivery main		
Status	Delayed	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$2,662,500	\$662,500	\$4,777
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Capital development held up pending dealings with regulator in relation to viable fractured rock allocation. Negotiations in train.		

Project	700039 BGD - Days Hill Water Pump Station		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$1,449,911	\$1,873,360	\$242,480
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Contract awarded. Project underway		

Project	700040 BGD - North Elmslea Reservoir		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$2,374,627	\$1,812,125	\$242,480
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Contract awarded. Project underway		

Project	700041 BGD - North Elmslea Pressure Pump Station		
Status	Not Yet Started	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$925,000	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	This is a project to be conducted for and on behalf of the Elm Grove Developer. At their cost. Works contingent on stage 2 of Elm Grove. Slated for 22/23		

Delivery Program Update – July-December 2021

Project	700042 BGD - Currandooley WTP MKII		
Status	Delayed	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$403,029	\$403,029	\$83,786
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Capital development held up pending dealings with regulator in relation to viable fractured rock allocation. Negotiations in train.		

Project	700140 BGD - STP Recycled Water System		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$2,313,000	\$3,455,557	\$1,632,560
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Project nearing completion - expected completion early March 2022		

Project	700191 BGD - water treatment plant		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$0	\$444,275	\$358,130
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022	30 Jun 2023	
Comment	Preliminary works continuing		

Project	700193 QBN - Mains		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$750,000	\$750,000	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	21/22 works now focusing on survey, investigation and design of major suite of works in Karabar area. Significant capital program planned for 22/23		

Project	700226 QBN - Water Connection Jerra Business Park		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$0	\$1,357,695	\$109,430
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2021		
Comment	No progress comment provided		

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Project	700227 QBN - Sewer Connection Jerra Business Park		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$0	\$1,962,900	\$184,898
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2021		
Comment	No progress comment provided		

Project	710025 QPR - Old landfills		
Status	Not Yet Started	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2021		
Comment	No actions planned for this year		

Project	710035 NER - Waste Transfer Station		
Status	Delayed	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$480,769	\$480,769	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Pending Council advice as to mode of consultation. Forthcoming workshop to determine.		

Project	710036 BWD - Landfill reinstatement		
Status	Not Yet Started	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$1,500,000	\$250,000	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Concentrating on Bungendore project first (underway).		

Project	800000 QPR - Fleet Purchases		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$1,000,000	\$3,000,000	\$621,927
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Ongoing		

Project	800010 QPR - Plant Purchases		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$2,080,000	\$1,000,000	\$729,066
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Ongoing		

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Project	800020 QPR - Fleet Sales		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Ongoing		

Project	800025 QPR - Plant Sales		
Status	In Progress	Branch	Utilities
Budget	Original	Revised	Expenditure to date
	\$0	\$0	\$0
Timeframe	End date	Revised end date	Completed Date
	30 Jun 2022		
Comment	Ongoing		



Delivery Program Update – July-December 2021

Key Performance Indicators – Strategic Pillar 4

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
Service 31 - Transport						
P: Bridges O: Bridges and Culverts	Quantity of timber bridges reduced each council term - 4 per term		4	6	Transport and Facilities	Six timber bridges have been replaced in the past three years. Silver Hills Bridge, Back Creek Bridge and Foxlow Street bridges have all been replaced with concrete structures. Council received funding under the Fixing Country Bridges fund to replace a two bridges - Wallace's Gap Rd and River Forest Rd, which will be replaced this financial year along with Mayfield Road bridge under the Bridges Renewal Program.
	% of bridges/culverts inspected annually 30% p.a.		30%	100%	Transport and Facilities	100% of QPRC's bridges and major culverts were level 2 inspected in the 2020/21 financial year. This will be repeated every 4 years. Council staff inspect all timber bridges annually during maintenance works.
P: Paths/Cycleways O: Footpath	% of extreme footpath defects fixed < 7 days >90%		90%	100%	Transport and Facilities	All reported extreme footpath defects have been repaired within the 7 days.
P: Roads O: Sealed Roads	Resealing sealed roads < 15 year cycle >80%		80%	100%	Transport and Facilities	Council's asset system shows that over 98% over Council's bitumen seals remaining life is greater than 2 years. All seals are inputted in the system with a proposed 20 year life. KPI 80% <15 years is achieved
P: Roads O: Street Sweeping	Annual street sweeper program developed and implemented -% kms swept vs kms proposed in annual program		100%	100%	Transport and Facilities	The street sweeping program is meeting its goals. The city and town streets are generally looking ok.
P: Roads O: Unsealed Roads	Annual target for grading roads - 749.6km		100%	100%	Transport and Facilities	Up to December 2021 284.4km of road has been maintenance graded.
Service 32 – Water						
P: Water Infrastructure O: Water Mains	Service requests per 1000 customers p.a. <15		15	10	Utilities	
P: Water Infrastructure O: Water Mains	Failures per KM mains pa < 1		1	0	Utilities	
P: Water Infrastructure O: Water Mains	Mains breaks responded < 2 hours - > 75%		75%	95%	Utilities	
P: Water Operations	Water revenue accounts issued on time		100%	50%	Utilities	50% progress for the year.

Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
O: Water Meter Reading						
P: Water Operations O: Water Treatment	Compliance with ADWG standards and adopted DWQMP >99%		99%	100%	Utilities	
Service 33 – Sewer						
P: Sewer Infrastructure O: Sewer Collection Network	Sewer chokes responded <2 hours - > 75%		75%	99%	Utilities	
P: Sewer Infrastructure O: Sewer Collection Network	Network failure per km main p.a. <1		1	0	Utilities	
P: Sewer Operations O: Other Sewerage Treatment Plants	Effluent meets Environmental Authorisation license limits >90%		90%	95%	Utilities	
	Performance report published as per required timeframe annually		100%	100%	Utilities	
P: Sewer Operations O: Sewerage Treatment Plant	Effluent meets Environmental Authorisation license limits >90%		90%	90%	Utilities	
Service 34 - Waste						
P: Waste Operations O: Domestic Waste Collection Service	Number of missed service complaints p.a. - <= 12 per 1000services p.a.		12	5	Utilities	
P: Waste Operations O: Recycling Collection Service	Number of missed service complaints p.a. - <= 12 per 1000services p.a.		12	5	Utilities	
Service 35 - Facilities						
P: Buildings O: Building Maintenance	Compliance with Council's Five Year Building Maintenance Program >90%		90%	90%	Transport and Facilities	Council's building maintenance program is generally performing well. High priority projects are being completed.



Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
Service 36 - Logistics						
P: Asset Planning O: Asset Database Management	Infrastructure Asset Registers are up to date and data validated - Undertake data audit - 1 asset class per year	●	1	100	Assets	Re-segmentation of road network undertaken ahead of revaluation. Improved reliability of road segments.
	Assets renewed, created or rehabilitated as part of a capital works project - All capex projects correctly capitalised for FY	●	100%	100%	Assets	End of financial year processing of Capital Works and Gifted assets completed.
P: Projects/contracts O: Contract Management	Delivery in accordance with capex program >90%	●	90%	0%	Contracts and Projects	
	Variations and delays to contract < 5%	●	5%	0%	Contracts and Projects	
	Procurement in accord with policy and tender legislation	●	100%	0%	Contracts and Projects	

STRATEGIC
PILLAR

5

CAPABILITY

A WELL GOVERNED QUEANBEYAN-PALERANG

A CAPABLE ORGANISATION THAT LEADS A
COMMUNITY WHICH IS ENGAGED AND PARTICIPATIVE

COMMUNITY STRATEGIC PLAN KEY GOAL	COMMUNITY OUTCOME
5.1 Our Council is highly professional in delivering services to the community	Council has a highly trained and professional workforce which achieves excellence in its activities
5.2 Our Council is efficient and innovative and actively seeking partnerships to deliver outcomes to the community	The community is serviced by an efficient, effective and innovative Council that provides value for money
5.3 Our Council has in place systems to provide quality services to its customers	Council has in place systems to provide for smart and authoritative self-service
5.4 Our Council's financial systems are reliable, efficient and effective	Council has in place reliable financial management systems which provide for authoritative and prompt decision making
5.5 Our Council has in place appropriate risk management frameworks	Council operates within a risk minimisation framework to provide for organisational efficiencies
5.6 Our Council's property portfolio is managed efficiently and effectively to maximise returns to the community	Council strategically manages its property portfolio
5.7 We have a well informed and engaged community	Council communicates and engages effectively and efficiently with its stakeholders
5.8 Our Council's activities work to achieve the Community's Vision and aspirations	Council actively works with the community to help it achieve its long term aspirations as set out in the Community Strategic Plan

Delivery Program Update – July-December 2021

Key performance indicators – Strategic Pillar 5

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
Service 41. People						
P: Human Resource Management and Organisation Development O: Attraction	Candidates suitable for shortlisting		10%	38%	Workplace and Governance	38% of applicants were deemed suitable and shortlisted.
	Students participating in work experience per annum equivalent to 1% of QPRC overall FTE count		3.7	4	Workplace and Governance	Four students had work experience at QPRC during the period. This was impacted by Covid-19. Work experience placement recommended in November 2021 – FTE count is 370, so 1% = 3.7. Target achieved
	Job information promoted during Local Government Week		100%	0%	Workplace and Governance	Event was unable to proceed due to Covid-19 restrictions during August 2021.
P: Human Resource Management and Organisation Development O: Development	Successful completion of formal coursework within the prescribed timelines by Trainees and Cadets		90%	75%	Workplace and Governance	3 trainees failed coursework out of 12
	Staff attendance at training identified in the annual training plan		90%	88%	Workplace and Governance	423 scheduled - 372 staff attended
	Compliance in obtaining and retaining required qualifications and tickets		100%	100%	Workplace and Governance	Tickets and qualifications are kept up to date. There was a delay with some training due to Covid, however normal processes have now resumed.
	Number of trainees/cadets as total of organisation FTE		10%	3%	Workplace and Governance	12 total = 5 cadets, 7 trainees
P: Human Resource Management and Organisation Development O: Engagement	Decrease employee unplanned absences per annum (5% decrease per annum)		5%	1%	Workplace and Governance	15,000 hours taken between 1 Jan 2021 and 30 June 2021. 15,559 hours taken between 1 July 2021 and 31 Dec. (noting 455 hours were COVID related)
	Culture survey conducted every two years		100%	100%	Workplace and Governance	Conducted in March 2021
	Increase in constructive employee behaviours each cultural survey		20%	15%	Workplace and Governance	Slight increase in all constructive behaviours between 2018 + 2021 surveys
	Workplace Consultative Committee meetings per annum		10%	5%	Workplace and Governance	Meetings held in July, August, September, October and November. No meeting in December.
	Industrial matters resolved without IRC intervention		95%	100%	Workplace and Governance	Nil matters needing Industrial Relations Commission intervention during the year.
P: Human Resource Management and Organisation Development O: On boarding	New employees completed Council's induction program		100%	97%	Workplace and Governance	34/35 staff attended (not including casuals)
	New starters successfully complete their probationary period		90%	14%	Workplace and Governance	28 new starters (new to organisation) 10 partially completed, 4 completed in full



Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
	New starters sign off on their delegations		100%	0%	Workplace and Governance	Major rework of process associated with delegations. New online software system endorsed in late December 2021. To be rolled out during early 2022.
	Orientation of position, team and organisation undertaken in the first three months		100%	100%	Workplace and Governance	New starters given induction checklist on first day to complete with Supervisor, not all checklists returned. We assume Supervisors are providing orientation of work environment
P: Human Resource Management and Organisation Development	Position Descriptions and employment material are reviewed and accurate before advertising the position commences		100%	100%	Workplace and Governance	All PDs are reviewed on vacancy by the responsible Service Manager or Program Coordinator.
O: Recruitment	Turnover in first six months of employment (quality of hire)		10%	4%	Workplace and Governance	Three of 68 permanent staff separations had less than 6 months service
P: Human Resource Management and Organisation Development	Staff turnover rate per annum		10%	5%	Workplace and Governance	457 average employees between July and Dec. 25 perm staff separations
	Staff separation rate at years one to two of employment		10%	21%	Workplace and Governance	9 out of 42 permanent separations were between 1 - to 2 years of service.
O: Retention	Delivery of the QPRC annual 'Years of Service' ceremony		100%	100%	Workplace and Governance	Event held in December 2021.
P: Human Resource Management and Organisation Development	Separating staff participate in an exit interview		90%	39%	Workplace and Governance	49 resigned 19 completed
	Accurate completion of employee exit forms		100%	100%	Workplace and Governance	Checklist returned to payroll for final payment
O: Separation	Critical positions are identified and have succession plans		100%	100%	Workplace and Governance	Critical positions have been identified in workforce plans and succession plans in place. Council also has a Transition to Retirement Directive.
P: Payroll Management	Accurate completion of payroll processing (accurate individual payments vs advance individual payments)		99%	100%	Workplace and Governance	Payroll processed within timeframes. Some minor adjustments process, however these were largely due to late approval of timesheets.
O: Salary System	Accurate completion of separation payments		100%	100%	Workplace and Governance	
	Accurate interpretation, implementation and update of award and legislative requirements		100%	100%	Workplace and Governance	
P: Workplace Health & Safety (WHS) and Wellbeing	Claims lodged within 48 hours		90%	78%	Workplace and Governance	Three of 14 claims lodged were not within 48 hours. This was due to affected employees not reporting incident to Council or doctor within 48 hours.
O: Incident and Claims Management						









Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
	All lost time injuries are managed in accordance with Council processes and procedures 100%		100%	100%	Workplace and Governance	All lost time injuries were managed in accordance with Council policies and procedures.
	Workers Compensation Insurance maintained or reduced annually		100%	20%	Workplace and Governance	Insurance premium increased by 20%, however this is also based on wage increase for the 2021-22 year. Wages increased by 3% during this year.
P: Workplace Health & Safety (WHS) and Wellbeing O: Wellbeing	The number of overall employees engaged in wellbeing initiatives		50%	42%	Workplace and Governance	Four wellbeing initiatives were offered during the first half of 2021-22, with more than 230 staff participating. Sessions included depot healthy eating sessions, wellbeing survey, September and Biketober. Based on head count of 550, 230 staff = 42%. Further initiatives planned in second half of year.
	Successful delivery of the annual Safety Day		100%	0%	Workplace and Governance	Unable to hold Safety Day due to Covid restrictions and uncertainty with booking in providers. Funding will be used to undertake audio and health checks during March 2022
	Active participation, through attendance at wellbeing initiatives, by the nominated Peer Support ambassadors		75%	50%	Workplace and Governance	Eight peer support members, four have attended wellbeing initiatives to date
	Peer Support meetings per annum		4	2	Workplace and Governance	Two meetings held in first half of 2021-22. Meetings scheduled for second half.
P: Workplace Health & Safety (WHS) and Wellbeing O: WH&S	WHS Committee meetings per annum		4	2	Workplace and Governance	Meetings were held in July and November. Further meetings scheduled during first half of 2022.
	HSEQ Accreditation maintained		100%	100%	Workplace and Governance	HSEQ audit undertaken in May 2020. QPRC obtained re-certification. During audit, two minor non-conformances were identified and six observations. All will be resolved within required timeframe.
	Health monitoring undertaken and maintained as per legislative requirements		100%	49%	Workplace and Governance	WHS team progressing health monitoring, with 51% of staff still requiring health monitoring
	Mock evacuations undertaken in accordance with legislative requirements		100%	0%	Workplace and Governance	Mock evacuations were scheduled for July 2021, however with so many staff working from home, they were postponed. Scheduled for March 2022
Service 42 Digital						
P: Applications O: Applications	Availability to users p.a.		99%	99%	Digital	Minimal changes were made to the Production database over the reporting period, regulatory releases only. Test environments have been

Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
						minimally impacted with the introduction of the latest version of (T1) 2021B. We are still receiving ongoing reports that the systems can be slow or unresponsive, across all applications. Again, when we get reports of this nature, we encourage the use of Citrix as we find that this can sometimes be more reliable than the use of local PCs for these application.
P: Network O: Network	Network availability to users		99%	99%	Digital	<p>The main network sites at the three town centres experienced minor out-of-hours outages for maintenance during the first half of this financial year. More of the Telstra IP network has been converted to Council managed networks via microwave links. This will result in cost savings and has already increased reliability and bandwidth. A significant power failure on Christmas day saw the Bungendore site go offline. Site connectivity was restored in 48 hours. Whilst the ability to monitor Council infrastructure on-site was lost during the period, no operational impacts resulted from this failure during the Council shutdown period.</p> <p>A significant power failure on Christmas day saw the Bungendore site go offline. Site connectivity was restored in 48 hours. Whilst the ability to monitor Council infrastructure on site was lost during the period, no operational impacts resulted from this failure during the Council shutdown period.</p>
P: Network O: Telecoms	Availability to users p.a.		99%	100%	Digital	<p>The July to December months were relatively uneventful on the telephony front. One of our Mitel voice appliances was replaced under warranty in September. There was no impact on telephony services due the system's fault tolerant design and load balancing to existing hardware.</p> <p>There were occasional call dropouts reported by some CSOs and problems of poor performance on their computers using the Genesys Cloud customer contact centre, that was implement last financial year. Investigation determined a different hardware specification was required to correct Genesys Cloud PC performance. Issues have not been reported</p>










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Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
						since the installation of their PCs with better specifications.
P: Systems O: Systems	ERP integration failures		1%	0%	Digital	<p>Only some regulatory updates that were mandatory have been updated within the Production Database; no systems failures. 2021B (T1) patch/release has been introduced to the Test environments with ongoing testing, which will be our last significant change for on-premise. This and the ongoing DR Testing have had a slight impact on the availability of Test environments.</p> <p>Going forward, there will only be mandatory regulatory updates available to on-premise sites, with the Techone support gradually ceasing as of October 2024. T1 is opting out of on-premise installations & moving to cloud environments for all their products & customers.</p>
Service 43 Financial						
P: Compliance & Control O: Accounting for Grants and Contributions	Grant acquittals lodged on time		100%	100%	Finance CFO	Roads to Recovery, Pensioner Claims and Regional Roads Block Grant acquittals issued on time.
P: Compliance & Control O: Financial Statements	Statements finalised for audit within 3 months, annually		90	138	Finance CFO	Statements initially finalised for audit within 90 day timeframe, late adjustments made due to revaluation of assets and extension sort on lodgement.
P: Transactional O: Rates & Water	Water bills posted on time each quarter - 100%		100%	50%	Finance CFO	50% issued on time for the year to date.
Service 45 Risk						
P: Business Continuity O: Business Continuity Plan	Business Continuity Plan updated following test		100%	75%	Workplace and Governance	The 2020-21 Business Continuity Test was undertaken on 24 June 2021. The Business Continuity Plan will be updated during 2021-22 following this test. Initial work on the review has commenced.
P: Insurances O: Review of Council's Insurances	Insurances reviewed, valued and renewed by due date		100%	100%	Organisation Capability	
P: Risk O: Risk Management	Participation in Statewide Mutual - CIP Program - 1 p.a		1	1	Workplace and Governance	Risk Management Strategy included in draft Resourcing Strategy that was presented to Council in November 2021. Resourcing Strategy will be adopted prior to 30 June 2022.
P: Risk O: Risk Register	Risk Register updated regularly - Twice p.a.		100%	50%	Workplace and Governance	One review complete, second scheduled for January-July.

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Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
Service 46 Property						
P: Property Management O: Property management	Leases and licenses register kept up to date	●	100%	0%	Organisation Capability	Leases and licences register requires a complete review. Project to be scheduled and resourced.
Service 51 Strategy						
P: Communications O: External Communications	Increase in subscriptions to weekly e-newsletter - 10% increase p.a.	●	10%	-1%	Customer and Communications	The total number of subscriptions on 1 July 2020 was 2,105. This decreased by 20 to 2,085 on 30 June 2021. This represents a 1% decrease.
P: Communications O: Internal Communications	Increase in staff satisfaction with internal communications - Annual internal communications survey	●	100%	0%	Customer and Communications	An internal communications survey was not conducted in 2020-21. Anecdotal reports show satisfaction with internal staff and councillor newsletters. Numerous positive comments have been received about a revamp of the design and content of the Quangerang Express staff newsletter. A formal internal communications survey is planned to be conducted in September 2021.
P: Communications O: Media Liaison	Media enquiries responded to by requested deadline	●	100%	100%	Customer and Communications	In a small number of cases, journalists were advised that the deadline was unrealistic and the deadline was renegotiated.
P: Communications O: Social Media	Growth in corporate social media accounts - 20% per annum	●	20%	19%	Customer and Communications	The total number of Facebook and Twitter followers at 1 July 2020 was 13,766. This has increased by 2,624 to 16,390 at 30 June 2021, representing a total growth rate of 19%. Instagram followers were not reported in previous years, but was 1762 at 30 June 2021. Twitter followers was 2,493 and Facebook was 13,897.
P: Communications O: Website and Intranet	Increase in number of unique hits on website 10%p.a.	●	10%	10%	Customer and Communications	In the 2019-20 financial year, there were 810,869 unique hits on the QPRC website. In the 2020-21 financial year, there were 891,440 hits. This is an increase of 10%.
	Increase in usage of online services 10%p.a.	●	10%	0%	Customer and Communications	No monitoring via analytics was available from 1 July-19 August and 13-23 March due to upgrades to One Council and technical issues. Total unique views during 2020-21 were 160,026. In the previous 2019-20 financial year, monitoring was only available from 24 November 2019 - 13 February 2020 and unique views were 33,567. For 2020-21, we received 2,376 online requests, 12,418 online payments, and 7,629 certificate requests. The NSW Planning Portal is in place from 1 July 2021 and will replace the following services processed through eServices

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Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
						this year: Construction Certificates - 634, Complying Development Certificates - 1,876, Subdivision Certificates - 37, Occupation Certificates - 537.
P: Integrated Planning and Reporting O: Community Survey	Satisfaction with Council is improving >75%		75%	70%	Customer and Communications	Council's overall satisfaction remained steady at 3.5 out of 5 in the survey that was conducted in March 2020. The rating of 3.5 equates to 70% and was above nine other similar sized councils. The next survey is not scheduled until 2022, however funding for 2022 survey was removed from 2021-22 Operational Plan.
P: Integrated Planning and Reporting O: Integrated Plans (CSP, DP, OP) & Resourcing Strategy	Plans prepared and reviewed within required statutory timeframes and engagement strategy		100%	100%	Customer and Communications	The 2019-20 Annual Report was presented to Council in November 2020. Operational Plan 2021-22 adopted by Council on 30 June 2021.
Service 52 Executive						
P: CBRJO O: Other Regional Participation	Delivery of annual cross border workplan >80%		80%	0%	General Manager / CEO	The ACT/QPRC cross border workplan has not been updated. COVID recovery took priority for both jurisdictions. A new MoU has been drafted and discussed with the Chief Minister in June 2021.
P: Complaints/ Privacy Management O: Code of Conduct	Code of Conduct complaints managed and processed in line with Councils Code of Conduct and Code of Conduct Guidelines		100%	100%	Workplace and Governance	All Code of Conduct complaints were managed and processed in line with the Code of Conduct Guidelines. The majority of complaints were provided to an external conduct reviewer for assessment.
	Code of Conduct complaints reported as required by Office of Local Government		100%	100%	Workplace and Governance	Report for 2020-21 was provided to Office of Local Government by due date.
	Annual report produced within required timeframe		100%	100%	Workplace and Governance	The 2020-21 Annual Report was presented to Council in November 2021 and uploaded to the website.
P: Councillors O: Councillor Induction and Training	Training Program developed and delivered for each councillor		100%	50%	Workplace and Governance	Program has been developed and delivery will occur between January-June. Councillor Induction and Professional Development Policy to be tabled at first meeting of new Council
P: Councillors O: Disclosure of Interests	Designated persons required to complete returns and register reported to Council within statutory timeframe		100%	100%	Workplace and Governance	All returns were complete by staff and councillors on time and were tabled at Council's September meeting. One staff member who was on extended leave was unable to complete the return, but will when they return to work.
P: Governance O: Policy	Policies reviewed by their required date		90%	100%	Workplace and Governance	A number of policies are required for review by the new Council. Focus in previous months has been on outstanding policies that

Delivery Program Update – July-December 2021

Program/Output	KPI	Result	Target	Actual	Responsible Branch	Comment
						require harmonisation. This has been reported to Audit and Risk Committee, with key policies being harmonised. Awaiting feedback from some Service Managers on outstanding policies. Policy Register has been moved online and will delivery greater compliance.
P: Legal O: Delegations	Delegations Register kept up to date	●	100%	0%	Organisation Capability	Delegations register requires a complete review. Project to be scheduled and resourced.
P: Meetings	Agendas publicly available Friday prior to Council meeting	●	100%	100%	General Manager / CEO	All agendas made publicly available on Friday afternoons.
O: Agendas/ Minutes	Resolutions actioned before next meeting >90%	●	100%	100%	General Manager / CEO	Resolution action sheet distributed and reported back to Council
P: Public information	Applications processed within statutory timeframe of 20 working days	●	100%	80%	Workplace and Governance	Staff turnover has impacted unsatisfactory performance in this area for this period.
O: Government Information Public Access Management	Eligible entries placed into the Disclosure log on Council's website	●	100%	0%	Workplace and Governance	The disclosure log on Council's website has been updated
	Completion of Annual GIPAA Report	●	100%	100%	Workplace and Governance	
P: Public information	Complaints processed within prescribed timeframe	●	100%	100%	Workplace and Governance	No public interest disclosure complaints received
O: Public Interest Disclosures	Six monthly report completed within required timeframe	●	100%	100%	Workplace and Governance	Reports provided as required.

Delivery Program Update – July-December 2021



Delivery Program Update – July-December 2021

Appendix 1 – Project update

Project update - Strategic Pillar 1

Project key: * = grant funding carried over from previous financial year. ** = project is reliant on grant funding. *** = Election promise – awaiting confirmation on funding arrangement.

Action	Status	Progress comment	Responsible branch
100681 Stronger Communities \$9m - Eastern Pools	Completed	The project was finished prior to the opening of the Braidwood pool for the 2020-21 season. The work included the replacement of underground plumbing infrastructure and re-tiling of the pool.	Recreation and Culture
100698 QBN - Stronger Communities \$9m – Aquatic Centre paint and restore	In Progress	Quotes have been sourced. Negotiating with suitable contractors. Works to be completed in April/May 2022.	Transport and Facilities
100749 QPR - Library Purchases Books and Non Books *	In Progress	Purchase of library resources is ongoing and Six monthly target has been reached.	Community and Education
100918 QPR - Regional Animal Management Facility - identify site and design	Delayed		Customer and Communications
100966 QBN - Aquatic Centre Plant Replacement	Completed	This project is complete.	Recreation and Culture
100991 QBN - Creating a welcoming community space in Queanbeyan Library	In Progress	Most furnishings have now been purchased and refurbishment project has almost been completed. Some funds remain to cover some remaining orders - all will be expended in coming months. Proposed new end date 30 June 2022	Community and Education
104105 BWD - Pool Upgrade	Delayed	A development application was lodged on 5 May 2021 (PAN-96898) . The DA has not been approved at the time of writing.	Recreation and Culture
104263 BGD - Solar Heating Bungendore Aquatics	Complete	Due to the current pool being demolished to make way for the Bungendore High School, the project is no longer required.	Recreation and Culture
104291 QBN - Aquatic Centre HVAC/ Boiler replacement	In Progress	Designs and specifications complete. Staff going to market in early 2022 with works scheduled to commence April/May 2022.	Transport and Facilities
104374 BGD - New Bungendore Pool	In Progress	Community engagement has commenced and design work is underway.	Recreation and Culture
104453 QBN - Aquatic Centre Upgrade to Change Rooms SCCF	In Progress	A development application was lodged on 28 May 2021 (PAN-104323) . Notification of DA approval occurred on 15 December 2021.	Recreation and Culture

Delivery Program Update – July-December 2021

Project update - Strategic Pillar 2

Action	Status	Performance comment	Responsible branch
100944 BWD - Braidwood Saleyards upgrade	Not Yet Started	Due to commence in the second half of 2021-22 FY	Business and Innovation
104092 QBN - City of Champions Walk	In Progress	Funding secured. Awaiting Funding deed from NSW govt. Expect execution in Feb 22	Business and Innovation

Project update - Strategic Pillar 3

Action	Status	Progress comment	Responsible branch
100184 QPR - Regional Sports Complex - Stage 1 and 2	In Progress	Bulk earthworks underway, civil works now being carried out under SEPP(Infrastructure) 2007 and REF. DA still awaiting determination by Regional Planning Panel.	Urban Landscapes
100285 QBN - Showground Pavillion & Storage *	Delayed	Heritage NSW has finally issued GTA for this project to allow the DA to be finalised. However, the grant time has now expired and a letter seeking extension must be approved by the minister.	Urban Landscapes
100557 BWD - Braidwood Recreation Ground Construction	In Progress	Rain has caused some delays for contractors, however it is anticipated irrigation, field extension and playing surface will be completed early 2022.	Urban Landscapes
100891 QBN - Showground buildings refurb	Not Yet Started	This project is connected with the new Pavillion project, which has had extensive delays due to Heritage NSW requirements.	Urban Landscapes
100984 BGD - SCCF - Sports Hub Stage 2 *	Completed	Works associated with this grant are complete. Irrigation is operational, Flood lights are up and fields have been sown.	Urban Landscapes
100996 QBN - Royalla Playground **	Not yet started	This project is reliant on grant funding, which has not yet been received.	Urban Landscapes
104087 QBN- Construction of Googong Sub-Depot - Parks	In Progress	Development application pending. Subdivision complete	Urban Landscapes
104244 QBN - Moore Park improvements **	Not Yet Started	Grant funding not successful	Urban Landscapes
104245 BWD - Braidwood Recreation Ground drainage channel	In Progress	All culverts are onsite and design work is complete. Construction has been delayed by rain and the creek continuously running.	Urban Landscapes
104357 QBN - Botanical Garden Project - CBD Masterplan Stage 8	In Progress	Site survey completed and small sub-projects are currently being designed and costed ready for the delivery plan.	Urban Landscapes
104516 BGD - Construct Bungendore Playground - LRCI #	In Progress	Contract awarded, Construction due to commence February 2022	Urban Landscapes

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Action	Status	Progress comment	Responsible branch
104572 BWD - Braidwood Skatepark - BLERF	In Progress	Detailed design complete and Tender called. Report going to January Council meeting to award contract.	Urban Landscapes
104573 BGD - Bungendore Playground - BLERF	In Progress	Contract awarded and playground ordered. Construction due onsite February 2022	Urban Landscapes
760502 QPR - Memorial Park Site Studies	In Progress	Planning Proposal complete and approved by Minister. Detailed design and further studies underway to facilitate DA documentation	Urban Landscapes

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Project update - Strategic Pillar 4

Action	Status	Progress comment	Responsible branch
100119 QBN - Googong Water Recycling Plant	In Progress	Work on the next reservoir at Hill800 to commence 14/2/22. Stage D at Water Recycling Plant in August 2022. Expect 18 month build for both	Utilities
100123 QBN - Sewage Treatment Plant Upgrade	In Progress	No progress comment provided	Contracts and Projects
100150 QBN - Ellerton Drive Extension	In Progress	No progress comment provided	Contracts and Projects
100183 QBN - Efficient street lighting upgrades	In Progress	Essential Energy is approximately 98% complete with the installation of the LED lighting upgrades. The only remaining installations include decorative and heritage style units.	Transport and Facilities
100225 QBN - Council Chambers Interior Refurbishment - building	Completed	Project was removed from the Delivery Program.	Transport and Facilities
100265 QBN - Civic and Cultural Precinct	In Progress	No progress comment provided	Contracts and Projects
100359 QPR - Security Project - Access Control and key replacement	In Progress	The roll out of access control into Council sites is continuing to progress.	Transport and Facilities
100548 BGD - Bungendore Landfill Reinstatement	In Progress	The works tender has been let. Site works currently underway. Expect project to be complete by 30 June 2022	Utilities
100701 BWD – Lascelles Street upgrade - SCF	In progress	No progress comment provided	Contracts and Projects
100856 QBN - Morisset car park and public domain	Not yet started	No progress comment provided	Contracts and Projects
100861 BGD - car park off Ellendon St	In Progress	No progress comment provided	Contracts and Projects
100862 BWD - Car park Wallace St	Not Yet Started	No progress comment provided	Contracts and Projects
100864 QBN - Waterfall path	In Progress	No progress comment provided	Transport and Facilities
100866 QBN - Alanbar: Cooma to Waratah	In Progress	No progress comment provided	Transport and Facilities

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Action	Status	Progress comment	Responsible branch
100867 QBN - Anne St: Brigalow to Donald	Not Yet Started	No progress comment provided	Transport and Facilities
100868 QBN - Route N1-N3 Stage 1	Not Yet Started	No progress comment provided	Transport and Facilities
100869 QBN - Thorpe to Barracks Flat Dr paths	In Progress	No progress comment provided	Transport and Facilities
100871 BWD - Monkitee Bridge path **	Delayed	No progress comment provided	Transport and Facilities
100874 BGD - Develop options report Reschs Creek Bridge	Not Yet Started	No progress comment provided	Transport and Facilities
100879 BWD - office smart hub/cultural space	In Progress	No progress comment provided	Transport and Facilities
100894 QBN - Monaro St (Lowe to Crawford)	In Progress	No progress comment provided	Contracts and Projects
100896 QBN - Rutledge car park	Not Yet Started	No progress comment provided	Transport and Facilities
100959 QBN - Upgrade Bicentennial Hall	In Progress	No progress comment provided	Contracts and Projects
100972 BWD - Office Refurbish & Smart Hub		No progress comment provided	Contracts and Projects
101002 QPR - Local Roads Renewal	In Progress	The local roads renewal program for the 2021-22 financial year is in progress.	Transport and Facilities
101013 QPR - Road to Recovery Budget Only	In Progress	The 2021-22 Roads to Recovery program is in progress.	Transport and Facilities
101067 BWD - Saleyards Lane Reseal	Completed	This project is now complete.	Transport and Facilities
101196 QPR - Traffic Modelling	Delayed	No progress comment provided	Contracts and Projects
101217 QBN - Uriarra/Ross/Stornaway - traffic changes	In Progress	No progress comment provided	Transport and Facilities
101296 QBN - Crawford,Antill and Erin Intersection Safety Upgrade	In Progress	No progress comment provided	Contracts and Projects

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Action	Status	Progress comment	Responsible branch
101297 BGD - Rehab Tarago Road Between Mt Fairy and Goulburn Mulwaree border	In Progress	The survey and design for this project is now complete. Land acquisitions for this project have also been agreed with adjacent landowners. Construction is scheduled to commence onsite in February 2022.	Transport and Facilities
101300 QPR - Local Roads Rehabilitation	In Progress	The 2021-22 Local Roads rehabilitation projects are in progress.	Transport and Facilities
101459 QBN - Dunns Creek Road -Design and Land acquisition	In Progress	No progress comment provided	Contracts and Projects
102006 CFL - MR270 - Captains Flat Rd	In Progress	The capital works programmed works on Captains Flat Road funded through the regional road block grant funding is in progress.	Transport and Facilities
102012 BWD - Cooma Rd/Krawaree Rd	Completed	There is no capital works scheduled on Cooma/Krawaree Road funded from the Regional Road Block Grant this financial year.	Transport and Facilities
102064 NRG - Nerriga Rd Section 3 - Reconstruct widen and seal - Ningenimble Project	In Progress	Environmental assessments and Survey works are now complete. Finalising design and land acquisitions. This project is not fully funded by the remaining grant funds. Council will construct as much as possible with the available funds.	Transport and Facilities
102065 NRG - Nerriga Rd Section 4 - Reconstruct widen and seal - Durran Durra	In Progress	Survey, design and environmental approvals has been completed. Construction activities are progressing well onsite with all earthworks and pavement construction activities complete. Sealing is planned for February/March 2022.	Transport and Facilities
102066 NRG - Nerriga Rd Section 5 - Reconstruct widen and seal - Euradux Rd to Tates Ln	Not Yet Started	This section of road is not currently included in the grant funding agreement.	Transport and Facilities
102067 NRG - Nerriga Rd Section 5 - Reconstruct widen and seal - Oallen Rd to Willow Fo	In Progress	This section of road isn't currently in the grant program agreement. Council has commenced survey and design on this section along with designs to replace the 2 existing causeways, with Bindi Brook causeway being funded through LRCI.	Transport and Facilities
102073 BWD-MR270 Cooma Road Jinglemoney Rd to O'Briens - RRRP	In Progress	Stage 2 of this project is ready to commence onsite. All survey and design works have been completed. Additional RRRP funding has been sourced to continue from where the 2020/21 project ended.	Transport and Facilities
102076 BGD - Roundabout on Malbon St *	In Progress	No progress comment provided	Contracts and Projects
102088 BWD - Nerriga Rd Section 18 – Construct Intersection with MR51	In Progress	Preliminary works onsite have been completed. Council has been waiting for formal approval (WAD) from TfNSW before more significant works can commence onsite.	Transport and Facilities
102064 NER - Nerriga Road Section 3 - Construct and Seal - Ningenimble Project	Completed	The construction of the Charleyong Bridge approaches has been completed.	Transport and Facilities
102098 CFL - Captains Flat Road Reconstruction	In Progress	Drainage extensions and pavement widening works are currently underway. Pavement stabilisation works are due to commence in March 2022.	Transport and Facilities

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Action	Status	Progress comment	Responsible branch
102113 BWD– Cooma Road - Brick Kiln Bridge Replacement	In Progress	The replacement of this timber bridge with a concrete structure is currently under construction. Due to be completed in March 2022.	Transport and Facilities
104068 QBN - Museum Building - Replace asbestos vinyl floor tiles	Add Performance Comment	This project was removed from the delivery program. Funds requested in 2022/23 FY.	Transport and Facilities
104073 QBN - The Q Performing Arts - Fire System	In Progress	All internal improvement works have been completed. External tank and pumps to be designed and installed in 2021/22 as well as the replacement fire curtain. Works to be incorporated into QCCP project.	Transport and Facilities
104074 QBN - Googong Community Centre- Internal upgrades	Add Performance Comment	Project removed from delivery program, currently unfunded.	Transport and Facilities
104077 CFL - Hall repair Leaking Roof	In Progress	Quotes received for upper roof replacement. Works to proceed in March/April 2022.	Transport and Facilities
104078 BWD - Council Offices - Customer Area	In Progress	Upstairs offices and old GM's office has been painted. This project has been incorporated into the smart hub project, which is currently at design and consultation stage.	Transport and Facilities
104107 QBN - South Jerrabomberra Northern Entry Road	In Progress	No progress comment provided	Contracts and Projects
104161 BWD - Mayfield Road – Reedy Creek Bridge Replacement	In Progress	The bridge componentry is onsite ready for installation. Council has awarded the installation tender to the successful contractor, with works programmed to commence onsite in March 2022.	Transport and Facilities
104169 BGD - Mulloon RFS Station – Design and Construction	Not Yet Started	No progress comment provided	Contracts and Projects
104212 BGD - Flood Risk Management Plant Implementation	In Progress	No progress comment provided	Contracts and Projects
104248 QBN - Blackspot - OCR/Railway Crossing Curve Upgrades	Completed	No progress comment provided	Contracts and Projects
104249 BWD - Blackspot - Araluen rd – Corridor Safety Treatment **	Completed	No progress comment provided	Contracts and Projects
104290 QBN - Depot - Fire services compliance works	Not Yet Started	In consultation with fire services contractor regarding the requirements for this site.	Transport and Facilities
104299 BWD - Depot - Security gates and repair to workshop	Add Performance Comment	Project removed from delivery program.	Transport and Facilities
104359 QBN - Shared Path along Lanyon Drive	Delayed	No progress comment provided	Transport and Facilities

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Action	Status	Progress comment	Responsible branch
104368 QBN - Williamsdale Road Seal	In Progress	This project is progressing well. All earthworks and pavement works are nearing completion. Sealing works are scheduled for February/March 2022.	Transport and Facilities
104369 BWD - Recreation Ground - extend stormwater pipe to enable skatepark	In Progress	The design has been completed. Materials have been ordered and are onsite. Works to commence onsite soon.	Transport and Facilities
104370 BWD - Lascelles St Upgrade	In Progress	No progress comment provided	Transport and Facilities
104385 Bus Safety Upgrade Proposal – Burra Rd	Completed	No progress comment provided	Contracts and Projects
104458 BGD – Bungendore Office Relocation	In progress	No progress comment provided	Contracts and Projects
104506 BWD - Shared path Wallace St to Services Club	In progress	No progress comment provided	Contracts and Projects
104507 BWD - Shared path Duncan St to Wallace St and Monkitee St	In progress	No progress comment provided	Contracts and Projects
104508 BWD - Footpath Elrington St between Wilson St and Duncan St	In progress	No progress comment provided	Contracts and Projects
104513 CFL - Foxlow St - Molonglo River Bridge Replacement - FCB	In Progress	The timber bridge has been replaced with a concrete structure. Minor approach works are remaining to be completed. Due for completion in February 2022.	Transport and Facilities
104514 BWD - Wallaces Gap Rd - Back Creek Bridge Replacement - FCB	In Progress	The survey and design for this bridge replacement has been completed. Council will order the bridge componentry in the coming weeks for construction to be completed this financial year.	Transport and Facilities
104515 BWD- River Forest Rd- Mongarlowe River Bridge Replacement - FCB	In Progress	The survey and design has been completed. The bridge componentry has been ordered and is expected to be onsite in February 2022. Works programmed to commence onsite in March/April 2022.	Transport and Facilities
104517 BGD - Bridge over Halfway Creek - LRCI	In Progress	The bridge componentry has been delivered to Bungendore depot ready for installation. The design team is finalising the bridge design height before construction onsite can begin.	Transport and Facilities
104518 NER - Bindi Brook Causeway - LRCI	In Progress	The survey and design has been completed. Council to order the box culvert structures and prepare for installation onsite.	Transport and Facilities
104519 QBN - Williamsdale Rd Extend Seal - LRCI	In Progress	Survey and design works are nearing completion. Council is planning to commence construction in March/April 2022.	Transport and Facilities
104539 BGD - Stormwater Improvement Program	Not Yet Started	No projects planned for current year	Utilities

Delivery Program Update – July-December 2021

Action	Status	Progress comment	Responsible branch
104540 BWD - Stormwater Improvement Program	Not Yet Started	No projects planned for this current year	Utilities
104574 QPR - Community Halls Fire affected - BLERF	In Progress	BLERF Deed signed. Finalising scope of works and budgets for each community hall. Quotations are being sourced with works to commence in March 2022.	Transport and Facilities
104585 QBN - Gorman Drive – Wombat Crossing		No progress comment provided	Contracts and Projects
104586 QBN - Pedestrian Refuges off Yass Road		No progress comment provided	Contracts and Projects
104587 QBN - Pedestrian Refuge at Uriarra Road		No progress comment provided	Contracts and Projects
104588 QBN - Lowe St – Wombat Crossing		No progress comment provided	Contracts and Projects
104589 QBN - Braidwood Central School Wilson St Upgrade and Bus Stop relocation		No progress comment provided	Contracts and Projects
700031 QBN - Stormwater Improvement Program	Completed		Utilities
700036 BGD - Jim Gray Bore	Delayed	Capital development held up pending dealings with Regulator in relation to viable fractured rock allocation. Negotiations in train.	Utilities
700037 BGD - Bungendore East Bore	Delayed	Capital development held up pending dealings with Regulator in relation to viable fractured rock allocation. Negotiations in train.	Utilities
700038 BGD - Currandooley Clear Water delivery main	Delayed	Capital development held up pending dealings with Regulator in relation to viable fractured rock allocation. Negotiations in train.	Utilities
700039 BGD - Days Hill Water Pump Station	In Progress	Contract awarded. Project underway	Utilities
700040 BGD - North Elmslea Reservoir	In Progress	Contract awarded. Project underway	Utilities
700041 BGD - North Elmslea Pressure Pump Station	Not Yet Started	This is a project to be conducted for and on behalf of the Elm Grove Developer. At their cost. Works contingent on stage 2 of Elm Grove. Slated for 22/23	Utilities
700042 BGD - Currandooley WTP MKII	Delayed	Capital development held up pending dealings with Regulator in relation to viable fractured rock allocation. Negotiations in train.	Utilities
700043 BWD - Shoalhaven Pump station and rising main	Not Yet Started	Project pushed back to 22/23 FY. Survey, investigation and design will be conducted first	Utilities
700140 BGD - STP Recycled Water System	In Progress	Project nearing completion - expected complete early March 2022	Utilities
700166 QPR - Water connections – Palerang	In Progress	Ongoing works	Utilities

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Action	Status	Progress comment	Responsible branch
700167 QBN - Water connections – Queanbeyan	In Progress	Ongoing works	Utilities
700168 QPR - Sewer connections – Palerang	In Progress	Ongoing works	Utilities
700169 QBN - Sewer connections – Queanbeyan	In Progress	Ongoing works	Utilities
700191 BGD - water treatment plant	In Progress	Preliminary works continuing	Utilities
700193 QBN - Mains	In Progress	21/22 works now focusing on survey, investigation and design of major suite of works in Karabar area. Significant capital program planned for 22/23	Utilities
700202 QBN - Telemetry	Completed		Utilities
700213 QBN - Sewer Pump stations	Completed		Utilities
700226 QBN - Water Connection Jerra Business Park	In Progress	No progress comment provided	Utilities
700227 QBN - Sewer Connection Jerra Business Park	In Progress	No progress comment provided	Utilities
710025 QPR - Old landfills	Not Yet Started	No actions planned for this year	Utilities
710035 NER - Waste Transfer Station	Delayed	Pending Council advice as to mode of consultation. Forthcoming workshop to determine.	Utilities
710036 BWD - Landfill reinstatement	Not Yet Started	Concentrating on Bungendore project first (underway).	Utilities
800000 QPR - Fleet Purchases	In Progress	Ongoing	Utilities
800010 QPR - Plant Purchases	In Progress	Ongoing	Utilities
800020 QPR - Fleet Sales	In Progress	Ongoing	Utilities
800025 QPR - Plant Sales	In Progress	Ongoing	Utilities

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Project update - Strategic Pillar 5

Action	Status	Progress comment	Responsible branch
100122 QPR - IT Tablet & Phone Purchases	In Progress	Ongoing project. During the first half of FY 21-22, Digital Deployed 32 tablets/mobile phones.	Digital
100168 QPR - Hardware Refresh – IT equipment	In Progress	Ongoing project. During the first half of FY 21-22, Digital deployed 29 laptops. Staff have become more open to the idea of using only one device (laptop) as their user experience has been solid. More than 80% of QPRC staff are now equipped with laptops, and we intend to raise this above 90%. The success of this project has been instrumental in achieving/maintaining a near-perfect Work From Home experience for QPRC staff.	Digital
100970 QPR - Ipad/Laptop - Remote Access for Staff	In Progress	During the first half of FY 22-22, Digital deployed 29 of 75 laptops scheduled for the year. As we were again repeating the WFH scenario of the previous year, the entire remote access /Citrix infrastructure continued to be at the forefront of productivity tools and performing exceptionally well. Digital has secured enough stock of laptops for the next 6 months to counter the significant shortage in the global supply chain.	Digital

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

9 MARCH 2022

ITEM 11.1 AMENDED LOCAL TRAFFIC COMMITTEE MEETING MINUTES
- SUPPLEMENTARY - 8 FEBRUARY 2022

ATTACHMENT 1 LTC MINUTES 8 FEBRUARY 2022 PART 2

Local Traffic Committee Meeting Minutes – Supplementary – 8 February 2022

Present: Meeting Held Via Correspondence (due to Covid risks) LTC Members: Rob Tapply (NSW Police Rep), Mel Lausz (TfNSW Rep), Nathan Cooke QPRC, Rodney Stewart chair QPRC. Joanne Wilson-Ridley (QPRC RSO),

These minutes reflect Part 2 of the LTC meeting held on 8th February 2022

The Committee Recommends:

1. Apologies

Nil

2. Business Items

i) Bungendore Car Park Ellendon Street Signage

Council has constructed a new off-street carpark in Bungendore off Ellendon Street and includes approximately 50 parking spaces. This carpark is the only public off-street carpark in the Bungendore “Local Centre”, with the other off-street public carpark in Bungendore being at Mick Sherd Oval. As such, it is necessary the parking service signs (G7-3-1) be erected to direct motorists to the public carpark.

The carpark geometric layout has been designed to cater for an 8.8 m long service vehicle. If longer vehicles enter the carpark (such as buses, semi-trailers or b-doubles) they will not be able to turn around and would have to reverse out. As such, regulatory signage is needed to advise that vehicles over a certain length should not enter the carpark (R6-248).

It should also be noted that there are some existing G7-3-1 parking signs located at the intersection of Malbon Street and Ellendon Street directing motorists to a private off-street carpark at the rear of Bungendore Village Square. It is proposed that these signs at the intersection be removed as part of the proposal as they would contradict the signs to the public carpark which point in the opposite direction.

Regulatory sign R6-248 would be erected at the entrance to the car park on Ellendon Street, with the length specified as 8.8 m.

- **LTC 08/2022 PROPOSED SOLUTION: Under the Road Transport Act 2013, approve the design for the Bungendore off-street carpark signage.**

j) Kendall and Gilmore Road Intersection

Council has received complaints from businesses located on Kendall Avenue near the intersection of Gilmore Road regarding safety about vehicles turning into Kendall Avenue. The complaints noted that drivers on Kendall Avenue approaching the intersection can be confronted with vehicles driving in the middle of the road or possibly at times in the incorrect travel lane especially where the vehicle has turned right from Gilmore Road.

Council reviewed the intersection of Kendall Avenue and Gilmore Road, noting it is located 70m from the traffic lights of Canberra Avenue and Gilmore Road. There is a right turning lane on Gilmore Road to support vehicles turning into Kendall Avenue but the intersections are located on corners and crests for both roads and approaching sight distances for vehicles turning right can only capture views of vehicles approaching on Kendall Avenue when vehicles are at the front of the right turning lane – should drivers look or turn earlier they may encounter restricted views of oncoming vehicles. The

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intersection of Kendall Avenue and Gilmore Road is quite wide at the intersection, it is around 30m wide, but within 7m of the intersection it narrows to 15m and this occurs on a corner and a crest, and within a further 10m it is 8m wide.

The intersection of Kendall Avenue/Gilmore Road does not feature any centreline marking but does have a give-way line delineating the intersection and a give-way sign. For drivers on Kendall Avenue approaching the intersection they also have a crest so views of the intersection and vehicles turning from Gilmore Road can also be impaired. To provide direction to motorists at the intersection and reduce the practice of vehicles driving in the centre of the road and assisting with navigating the corner, a design has been prepared proposing to install a 33m centre barrier line at the intersection.

- **LTC 09/2022 PROPOSED SOLUTION: Under the Road Transport Act 2013, approve installation of 33m barrier line on Kendall Avenue at intersection of Gilmore Road as per the design.**

k) Bungendore – Mick Sherd Carpark Safety Changes

A new all accessible adventure playground, including a family picnic and barbecue area, is being constructed at the Bungendore Park in Bungendore, (6-14 Butmaroo Street, Bungendore) to replace the current small and outdated playground at Mick Sherd Oval.

The current carpark presently features 2 mobility parking spaces with shared areas and are both located in parking bays adjacent to the toilet block facility. With the new playground likely to attract a higher number of families visiting the park, it is recommended that a safety buffer zone, highlighted with painted chevrons and parking restriction signs be introduced to the playground entrance, on the left hand side of the carpark, as indicated in the design.

The introduction of the safety buffer zone will require the realignment of the existing car space lots within the car park, by 1 metre, due to the size requirement of the buffer zone. There is sufficient space within the carpark to accommodate the realignment of car spaces.

- **LTC 10/2022 PROPOSED SOLUTION: Under the Road Transport Act 2013, approve the parking restrictions and revised line marking and at Mick Sherd car park as per the design.**

l) Erskine Loop Road, Googong

Council has received complaints from residents concerned about safety and on-road parking on the southern corners of Erskine Loop, Googong. The residents note concern for the on-road parking on both sides of road narrowing the road near the corner, resulting in limited views and reaction time to navigate the corner and move from driving in the centre of the road.

Inspections noted concentrated on-road parking particularly south of Ware St near a multi-unit development, along with parking of caravan on the road. Observations of vehicles driving on Erskine Loop showed vehicles driving in the centre of the road as a result of the on-road parking on both sides of road leading up to the corner, and in many cases remaining in the centre of the road to navigate the corner. The sight distances around the corner however were limited due to the alignment and raise risks of head-on crash. Larger vehicles were noted during the observation also driving in the middle of the road to navigate the corner, increasing potential severity should crash occur.

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The Traffic Control Designs (TCD) for this section of road were reviewed by LDC and centre-line marking had been recommended for the northern corners of Erskine Loop, and these were implemented when the road was constructed. Inspection noted the safety of navigating these corners was improved with the line-marking and the absence of parking around these corners. The alignment of the southern corners are less severe than the northern corners, but given on-road parking, observed behaviours and potential crash risk it is proposed that these corners could also benefit from centre-line marking.

The far western side of Erskine Loop as it runs parallel to Old Cooma Road was also noted to be a narrow road and insufficient in width to support parking on both sides of road. It is an edge road and Development Engineers provided feedback that it can be practice for the width of edge roads to change during the development process, and narrower widths for edge road are accepted and this is seen elsewhere in Googong (Lindbeck Corner and Connolly St). In such examples, parking signage has been installed to restrict parking on the edge side and this consistent treatment is also proposed for the far western side of Erskine Loop.

Council's Development Engineers reviewed the proposed design and supported the changes.

LTC 11/2022 Under Road Transport Act 2013 approve changes to line-marking and signage as per design for Erskine Loop Road, Googong.

m) Cooma Street Merging Lane near Dane Street, Queanbeyan

Council has received complaints from residents living on Cooma St (111 Cooma St) about safety concerns with the painted islands located near the resident's driveway. The resident reports they have safety concerns exiting their driveway (which exit front first) as vehicles frequently cut the corner driving over the painted island making it difficult to exit the driveway safely. The resident reports experiencing many near misses with the front of their car. They requested the traffic conditions around the painted islands be reviewed, particularly asking if they could be upgraded to concrete islands.

Council regularly monitors Cooma St for safety and performance being one of the busiest arterial roads on QPRC road network. Traffic data has been collected annually and with the opening of EDE in 2020 there has been significant decrease in traffic volumes (from 17,193 ADT to 12,099 ADT). There have been a number of reviews and changes on Cooma St to address safety including line-marking changes just North of the resident's driveway introduced in July 2019 to address safety around parking, bus stops and vehicles turning into side-roads off Cooma St – the upgrades have reduced the previously raised safety issues and assisted travel of vehicles along Cooma St. Speed zone changes were also introduced at beginning of 2021 just north of the resident's driveway, the 40km/h school zone limit was extended out to White Avenue and the 50km/h urban limit extended to south of Thorpe Avenue.

In 2017, the traffic conditions around intersection of Cooma St and Dane St were reviewed particularly in relation to the merge. Residents from Dane St were reporting difficulty in merging and non-compliance to the merge rules where thru vehicles were driving over unbroken lines or refusing to give-way where the lane ended or speeding up and undertaking. Dane ST residents also noted the increased traffic and difficulty exiting their road onto Cooma St. 2017/2018 was when peak travel volumes were recorded on Cooma St. Council conducted a safety review of the merge conditions in 2017, reviewing and collecting traffic data, crash history, road inspections and onsite counts in peak travel times to observe merging behaviour. The review noted that Dane St featured a non-standard

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sea-gull merge configuration where vehicles turning into Cooma St had the right way and the lane conveying thru vehicles ended requiring these drivers to give-way. This configuration is unique along Cooma St and saw thru vehicles that have likely travelled uninterrupted at 60km/h speed limit for several kilometres needing to slow and give-way to possibly slower vehicles merging. Onsite observations found some non-compliance with merging – few vehicles used their blinkers, many vehicles merged earlier over unbroken lines and a couple of late merges were noted. Vehicles turning out of Dane St waited on average 3-5 seconds to turn, but a small percentage selected to wait longer until both directions were cleared of traffic and this could take up to 30 seconds. There was no significant delay noted for Dane St but the need for supporting drivers and enhancing education around merging was identified – the signage at the merge was updated, the ‘Left Lane Ends, Merge Right’ sign was refreshed and the size increased and VMS board was deployed to near Kenneth Place reminding drivers of the lane end, give way merging rule. The rules around merging have also been a focus in Council’s road rules community education program featuring in community quizzes, social media posts and distribution of Top 10 misunderstood road rules and discussed at community road safety presentation. However, the need for a long-term review of the merge conditions at this intersection was identified.

Since the review in 2017, and implementation of education and signage changes and with EDE opening Council has not received any further complaints about Dane St merge until last year, from the residents (#111) north of the merge and more in relation to safe access out of their driveway impacted by speeding up the hill and vehicles cutting the corner and driving over the painted islands. In reviewing, new conditions and current operation of the road, there are concerns about introducing safety risks if the painted islands were upgraded to concrete. This section of Cooma St is also currently being reviewed in the State Road Reclassification Submission so large traffic changes are currently not advised.

However, reviewing all of the information for this location, to improve safety and access for residents and support improved merging behaviour near Dane St and on the approach to the resident’s accesses a design has been created to alter the merge of Dane St from a lane ending merge to a zipper merge and to install new edge lines to delineate the travel lane and additional painted islands. The changes aim to support merging further south from the painted refuges, and prior to the corner and the crest in the road. It aims to assist through vehicles merge early and improve flow of traffic and manage the different traffic speeds at this merge location and reduce non-compliant undertaking and vehicles speeding up the hill and cutting the corner. New painted islands and edge lines aim to define the travel lane and assist with the drive-way access in this road section. Implementation of the proposed changes will be accompanied with education including redeployment of VMS to note changed traffic conditions.

LTC 12/2022 Under Road Transport Act 2013 approve changes to line-marking and signage as per design for Cooma St.

n) QPRC QCCP Parking Sign Changes – Rutledge Street

Council’s contractors (ADCO P/L) closed access to the majority of car parking spaces in the Lowe Street carpark in August 2021 for the construction of the Queanbeyan Civic and Cultural Precinct. A number

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of changes to parking arrangements in the vicinity of the QCCP work area were reported to LTC in August 2021 and have been implemented.

During the latter part of 2021 and during January 2022 Council has received a number of complaints from the public regarding the lack of parking spaces on the Rutledge Street area for access to the Library and Local Businesses.

A review of the parking behaviour in late January and February 2022 shows that approximately 65% of vehicles park in the same space for 3 hours or longer. This makes it hard for the public to park for short durations in Rutledge Street to access businesses and the Library.

It is proposed to implement changes to car parking arrangements in Rutledge Street in Stages. Stage 1 is proposed to be implemented first and subsequent stages will be implemented pending monitoring, feedback and further assessment.

Stage 1 comprises time restrictions applied to five car park spaces to allow 1-hour parking (1P 135deg REAR IN 8.30am-6.00pm Mon–Fri, 8.30am-12.30pm Sat)

Further stages 2, 3 and 4 as described in the report to Local Traffic be implemented in consultation with Local traffic Committee.

- Consideration to be given to implementing and issuing Residents' Parking Permits for the Housing NSW tenants and residents of detached housing on Rutledge Street in accordance with QPRC parking Policy.
- Consideration to be given to altering the order in which further stages are implemented. E.g. Area 1 followed by Area 3 followed by Area 4 followed by Area 2.
- Recommendation to remove 'Parents with Prams' signs in front of the QPRC Library and replace with '1/4P 135deg REAR IN 8.30am-6.00pm Mon–Fri, 8.30am-12.30pm Sat'. This improvement was agreed during an out of session review conducted on site on 14 February 2022 with Michael Damo and the LTC NSW Police representative.

LTC 13/2022 Under Road Transport Act 2013 approve the design for parking restrictions in stage 1 restrictions and change 'Parents with Prams' space in front of Library to 1/4P timed parking on Rutledge Street Queanbeyan as per the revised design.

4. Next Meeting

Tuesday 5 April 2022, the Committee Meeting Room, Crawford Street, Queanbeyan (to be confirmed)

Recommendation

That Council resolve that:

- 1. Note the part 2 minutes of the Local Traffic Committee Meeting held on 8 February 2022.**
- 2. Adopt the additional recommendations LTC 08/2022 to LTC 13/2022 from the meeting held on 8th February 2022.**

QUEANBEYAN-PALERANG REGIONAL COUNCIL

Council Meeting Attachment

9 MARCH 2022

ITEM 14.1 RESPONSES TO COUNCILLORS' QUESTIONS

ATTACHMENT 1 RESPONSES TO COUNCILLORS QUESTIONS - NO
CONFIDENTIAL INFORMATION

QPRC COUNCILLORS' QUESTIONS

No.	Date rec'd	Question / Request	Responsible staff	Response	Date of reply	COMPL Y/N	Confidential info re questions
78	2/3/2022	The Mayor has requested the status of the nursery site on Morrisett Street	SM Urban Landscapes				
77	1/3/2022	Cr Wilson has requested an update on remediation works for Araluen Road	Acting PGM Community Connections				
76	28/2/2022	Cr Grundy has been contacted by a resident of Bungendore about anti-social behaviour in the vicinity of Elmslea Ponds resulting in damage to QPRC property. Does Council have any CCTV footage that might capture these acts?	SM Transport				
75	28/2/2022	Councillors have been contacted by a resident of Wamboin about the condition of the roads in the area, namely Wirreanda and Ryans Road) that are in a state of disrepair. Can staff please provide an update as to the current status/remedial actions.	Acting PGM Community Connections	<ol style="list-style-type: none"> 1. Closure of Ryans Road <ol style="list-style-type: none"> a. Ryans Road, south of the turning circle, to the intersection with Wirreanda Road and east along Wirreanda Road to the new subdivision has been closed to the general public with the exception of the provision of access for the three properties immediately impacted by the works and the subdivision construction site. All material deliveries and all truck movements associated with the subdivision have been conditioned to use Norton Road through the closed section of Ryans Road to the construction site. b. During the DA assessment the condition of Wirreanda Road was noted as poor condition requiring gravel re-sheeting and too narrow in places for safe use with truck and dog 	3/3/22	Y	

				<p>trailers. For this reason the construction route was defined as above</p> <p>c. There should not be any subdivision traffic on Wirreanda road to the west of Ryans Rd.</p> <p>i. We have confirmed with the subdivision contractor that they are not using this section of road</p> <p>2. Logging</p> <p>a. QPRC is not and has no part of the approval process in logging. We will inspect the road to review condition.</p> <p>3. Condition of Wirreanda Road</p> <p>a. It is noted that the section of Wirreanda Road was last graded in Jun 2021 and is not due until 2023. We will inspect the condition and review as appropriate.</p> <p>b. We will also review the contractors conformance with the condition that they not use this section of road</p> <p>4. Waste</p> <p>a. The resident is not correct when she states she pays an equivalent amount as a residential block for service she doesn't receive. The domestic waste charge paid by Ms Hansen (\$362pa) is for access to the waste transfer station and to cover Councils rehabilitation of previously unregulated landfill sites (tips)</p> <p>b. Urban and some rural residential blocks that have access to weekly kerbside pickup pay an additional charge of \$362 pa (ie a total of \$724 pa.)</p> <p>c. We understand that waste services in the Wamboin and Bywong area provided by a private contractor. This is an established process noting that the community told</p>		
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				Council by way of public survey that they did not want a Council provided kerbside service.			
74	27/2/2022	The Mayor has been contacted by a resident of Boro Road concerned about the intersection of Boro and Braidwood Roads. The recent roadworks have added material which has created a dangerous intersection with washout.	SM Transport	The contractor (JLN) hasn't finished out there yet. They left site last Thursday once the rain started so as not to make a further mess. That area in question is the existing clay which unfortunately turns to slop every time it rains. All that was done in that location was a grade to smooth out the surface. No material has been added. Material will be added at that location as soon as this weather clears.	1/3/22	Y	
73	24/2/2022	The Mayor has asked for the history of the Council-owned parcel of land on the corner of Kendall/Richard Avenue and whether the local Men's Shed may be able to restore the dilapidated picket fence?	SM Urban Landscapes	This little parklet was handed to council by the developer some time back now. We mow and keep the area clean, but the fence is not something we would support in a DA today, it's just beyond our maintenance resource. If the men's shed were to restore, that would be good, if not I would recommend its removal.	28/2/22	Y	
72	24/2/2022	Cr Grundy has asked for an update on the progress of the upgrade of Lascelles Street, Braidwood.	PGM Community Connections	Following some value management, the tenders were delayed as Council have attempted to future proof the works ie. Provide for future stormwater needs in the case of redevelopment of existing Council depot. Staff are putting the final touches on the tender with advertising to occur early next month	24/2/22	Y	
71	24/2/2022	Cr Grundy has asked if a commencement date for the upcoming works on Tarago Road has been announced?	PGM Community Connections	Tarago Road residents should see Council staff pegging the extent of the project over the next few weeks along with clearing lines and batter lines. Proper works to occur in 3 weeks, weather permitting.	24/2/22	Y	
70	24/2/2022	Cr Taskovski has been contacted by the owner of 103 Waterfall Drive concerned about the risk of the Protected Tree in his yard falling on to the house. He has requested he be permitted to remove the tree	SM Urban Landscapes	The tree in question is a remnant Eucalypt that was protected during the subdivision and creation of the block. The property owner purchased the land with this protection in place. Investigation of excavation and possible development without consent on the adjoining land is occurring, but from what we can see there is no valid reason to approve	25/2/22	Y	

				removal of this tree. If the Tree Protection Order was to be overridden, this would require a DA to be submitted to Council by the property owner. This is a DA that may then end up before Council for determination.			
69	23/2/2022	Cr Taskovski has been contacted by a resident concerned about the lack of maintenance at the Queanbeyan Cemetery.	SM Urban Landscapes	<p>Unfortunately, we are getting a lot of complaints all over the LGA seeking more attention to grass cutting. The reality is we have just experienced one of the wettest growing seasons in many years and staff and our contractors are struggling to keep up. We are mowing many areas twice a week, where we would normally for one every two weeks. Whipper snipping and edging are labour intensive and by the time staff get through the cemetery, they need to start again. Communications team have put out social media calls letting people know, we expect to get on top of this soon with the cooling weather and just ask all residents to be patient.</p> <p>With regards the staff sitting around the shed, the only staff out at the cemetery are the Jerra Crew, which come and go depending on where they are working, the staff preparing or closing graves of the days funerals and two full time gardeners/mower operators, that do all the mowing and whipper snipping. Normally the staff would have the lunch inside the shed, but with Covid, they have moved outside to distance themselves. We have passed the residents concerns onto cemetery staff</p>	25/2/22	Y	
68	23/2/2022	The Mayor has received a request for an update on the approval to release Stage 4 Braidwood Ridge and the approval for the Construction Certificate for Stage 5.	PGM Natural & Built Character	The Subdivision Certificate was signed off on 24/2/22 and hard copies uploaded to the Planning Portal on 25/2/22.	25/2/22	Y	
67	18/2/2022	The Mayor has received a request for an update on the progress of DA for 83 Campbell Street, Queanbeyan.	PGM Natural & Built Character	<p>The assessing officer has confirmed that the assessment report is being finalised, with a site inspection scheduled for next week. The assessing officer advises that he has been in contact over the last few days with the applicant.</p> <p>Unfortunately, it appears a referral to Council's Heritage Advisor was accidentally overlooked by the assessing officer</p>	25/2/22	Y	

				<p>in December, but Admin have confirmed this was sent today as a priority, along with a note flagging the accidental oversight and requesting a prompt response.</p> <p>It is also noted that:</p> <ul style="list-style-type: none"> whilst the application was submitted to the NSW Planning Portal mid-October, additional information was requested twice prior to the lodgement being accepted; the application was formally lodged 9 November 2021, and fees remained unpaid until 18 Jan 2022 (76 days after invoice issue); this property is in a Heritage Conservation Area (HCA) and the application includes a DCP Variation in relation to the height of the proposed garage; <p>Council's end of year closedown also fell in the middle of this assessment and has accordingly added to the delay</p>			
66	18/02/2022	The Mayor has received correspondence from a resident of Googong concerned about the pH levels of the drinking water being 8.	SM Utilities	<p>The definitive guidance on drinking water quality are the "Australian Drinking Water Guidelines – 2011" issued by the National Health and Medical Research Council (NHMRC). The guidelines typically specify limits for a whole host of parameters either from a health or aesthetic perspective. Note that there is no specified health guideline for pH. Only aesthetic. The reported result of 8 is pretty much in the sweet spot for drinking water. Whilst I am not privy to any other information on this particular event I might comment on the issue of chlorine. Drinking water has free chlorine in it. We routinely dose the Googong supply to about 1mg/L of free chlorine. This is an absolute necessary for a safe potable drinking water supply. Having said that, free chlorine is absolutely toxic to fish and aquarium owners need to take particular care to remove all traces of chlorine as part of aquarium water pre-treatment.</p>	18/02/22	Y	
65	18/02/2022	The Mayor has received photos of dumping off Jerangle Road. The majority of the refuse appears to be old road and concrete. For investigation	SM – Natural Landscape & Health	<p>It appears to be residual materials from Council's own operations. Responsibility is with the Transport team to clean it up and ensure temporary site management controls.</p>	25/2/22	Y	

64	18/02/2022	The Mayor has received correspondence from a resident regarding the old Medical Centre in Captains Flat and its use given it may potentially be condemned.	SM Transport	The building is currently vacant and available for other uses as determined by Council. The building does contain asbestos, but the asbestos does not preclude the occupation of the house. The house is not condemned.	21/02/22	Y	
63	17/02/2022	The Mayor has had a call from a resident who lives on or off the Araluen Road – near the “pigeon gully boundary”. They are unhappy with the current state of the road. Can Council confirm if we are aware of the complaints and provide some information on when it was last inspected/next scheduled to have work completed on it?	SM Transport	<p>Council has record of one Customer Request regarding Araluen Road in December 2021 in which Council advised that defects on this road were known and works were being undertaken by Council’s Disaster Recovery Contractors. The Contractors have had no contact from any residents recently. A public meeting was held approximately a year ago by the Contractors to discuss upcoming works and it was noted that residents were always happy with the conversations had.</p> <p>In terms of current/upcoming works for Araluen Road:</p> <p><u>Sealed road section:</u></p> <ul style="list-style-type: none"> • Undergoing vegetation control on shoulders ready for approx. 1.42km of stabilisation which is expected to start in March, weather permitting. This section starts near Majors Creek Road and works toward Reidsdale Road. • Further stabilisation to be complete in the near future includes Araluen Road from Jembaicumbene toward Monga Lane, approx. 1.5km in length. <p><u>Unsealed road section:</u></p> <ul style="list-style-type: none"> • Last graded 19 March 2021 – Due to be graded again in March 2022. • Culvert repairs – in next 2 or 3 months weather dependent. • Replace concrete causeway – in next 2 or 3 months weather dependent. <p><u>Other</u> Below works are not a quick fix and take months to complete:</p>	24/02/22	Y	

				<ul style="list-style-type: none"> • 3 slips we have concept designs for repair – in the process of finalising these designs. Following the confirmation of design, Council will go to tender to get a contractor to undertake repairs. Tender can take 6 – 8 weeks. Due to this work falling under the Disaster Recovery Funding Arrangement, works must be undertaken by a contractor and not by Council. • 6 additional slips from the November flood event – Council was given approval to get designs for these. Funding from DRFA is not completely approved at this point. 			
62	15/02/2022	<p>Cr Willis has asked:</p> <p>With regard to a number of animals that occupy an area of the hill between Miners Rd, Captains Flat Rd and Foxlow St which may be at risk from heavy vehicle traffic to be deployed in the transportation of materials to cap the exposed mine site in Captains Flat:</p> <p>Q1. What plans has council made to encourage the mob of kangaroos to move offsite and to move the two resident sheep so they are safe from truck movements by relocating them?</p> <p>Q2. Has council explored the option of having the sheep rehomed in the town?</p>	SM Customer and Communication	<ol style="list-style-type: none"> 1. Capping of the mine and surrounds is a project being managed by Legacy Mines. We understand that a Review of Environmental Factors will be developed as part of the project. The REF should address flora and fauna matters. Council is not responsible for the management of wild animals such as kangaroos. This would be a matter for NSW Parks and Wildlife or Local Land Services. 2. If the sheep are not contained by fencing, Council's Animal Management Officers can attempt to locate the owner and request they be relocated. If they are not contained by fencing, Council could impound the sheep at its Bungendore facility. If not claimed, the sheep would be sold via public tender. 	16/02/22	Y	
61	15/02/2022	<p>Cr Willis has asked:</p> <p>It is understood that the proposed Woodlawn waste-to-</p>					

		<p>energy incinerator is proposed for the Goulburn-Mulwaree Council area. However, material will be transported through the QPRC council area, and the proposed facility would be very close to QPRC. It is also understood that the development application is likely to be designated State Significant.</p> <p>Q1: Queanbeyan-Palerang Regional Council can make a submission on the DA. The status of a submission by "the local council" is different from that of another submitter, in that it triggers referral to the Independent Planning Commission. Is this status restricted only to the council in which the facility is proposed to be located, or also to other councils whose residents and facilities (roads, for example) are likely to be affected by it?</p> <p>Q2: As a current customer of Woodlawn, and as a potential future customer of the waste-to-energy facility, how will council manage this potential conflict of interest when developing a submission on the DA?</p>					
60	15/02/2022	Cr Livermore received a request for Council staff to update residents on the completion date	SM Transport	Council and its resealing contractor determine the roads to include in each year's contract by considering a few factors. These include current condition, vehicles per day and time since last reseal.	24/2/22	Y	

		for resurfacing works on Waterfall Drive.		<p>There is an approximate 12-year cycle for bitumen reseals however, this timeframe can be extended without a reseal or brought forward dependent on pavement conditions.</p> <p>Waterfall Drive has had a few sections with experiencing failures, cracking and deformation which have been continuously heavy patched. A reseal over the top of these patches will prolong the integrity of the road by waterproofing it and giving it a new wearing surface.</p> <p>The bitumen seal was complete with aggregate and bitumen rather than asphalt for a number of reasons, these include:</p> <ul style="list-style-type: none"> • Time – a bitumen reseal is significantly faster to apply with less disruption to traffic • Cost – a reseal with aggregate and bitumen is approximately 10 times more cost effective when compared to asphalt <p>The application of a bitumen seal does not compromise the longevity of the road surface quality and allows Council to undertake a higher number of road treatments in the Local Government Area.</p> <p>Although initially it may appear that there is excess rocks on the surface, this is part of the reseal process. After the seal is applied, it takes approximately 1 week for the stones to embed themselves into the bitumen and to fill the voids. After the week of settlement, the road is swept to remove any remaining stone from the surface. The final product should be very similar to that of the pre-existing asphalt surface.</p> <p>Waterfall Drive had its final sweep earlier this week.</p>			
59	14/2/2022	The Mayor has received concerns relating to the change to school bus services to Wickerslack Lane.	Road Safety Officer SM – Contracts & Projects	The bus stop in question was previously on Old Cooma Road at the end of the slow lane approaching Wickerslack Lane. This bus stop was not in an ideal location however there were no alternative locations so the replacement was delayed and included in the Old Cooma Road stage 2 upgrade. Please be reassured that the new bus stop	14/2/22	Y	

14.1 Responses to Councillors' Questions

Attachment 1 - Responses to Councillors Questions - no confidential information (Continued)

				<p>absolutely meets standard and is an excellent spot for parents to drop their kids off. It is almost a replica of the one that was built at Burra S-bends under the CPTIGS. We have applied for funds to build a bus shelter (we are yet to hear about the funding).</p> <p>Whilst I can sympathise with the resident Q-City aren't making decision as suggested ie. for cost reasons. Q-City can't direct their staff to stop in a lane it is against the road rules. An argument could be made that this has occurred until now however there were not alternate safe stops. The new stop has fixed this issue.</p>			
56	8/2/2022	All Councillors received concerns from a resident surrounding the landscaping of the area surrounding the Woolworths complex car park at Jerrabomberra.	SM Urban Landscapes	The Woolworths Car Park is not Council land, it is private property and has been developed for around 30 years. Council cannot direct any property owner to add more trees. We can decline approval to remove trees and we can put development conditions to include trees in new developments such as Aldi, but unfortunately not for Woolworths.	25/2/22	Y	
55	8/2/2022	The Mayor received correspondence from the Tarago and District Progress Association in relation to whether the proposed works in and around Mount Fairy are designed to cater for 38t vehicles and heavier?	SM Transport	Tarago Road has been designed to cater for HML semi-trailer combinations up to 45.5T.	21/02/22	Y	
53	7/2/2022	The Mayor has received a request for the booking of Googong Cricket Ground. Can staff please advise what the process for this is?	SM Urban Landscapes	Urban Landscapes staff have completed booking with applicant	7/2/22	Y	
52	28/01/2022 7/2/2022	All Councillors received a request for update on status of DA.2021.1374	SM Development	This DA was signed on 13 th February 2022 and stamped/uploaded to the Planning Portal on 15 th February 2022.	21/2/22	Y	

51	6/2/2022	All Councillors received a request for update on status of PAN-142109 for Bungendore Bowling and Sports Club	SM Development	<p>DA.2021.1645 was lodged for a “shed”. Upon reviewing the Statement of Environmental Effects (SEE) it is evident that it is intended to be used to hold functions and events. This is a very different development to simply a shed. A basic chronology for this DA is as follows:</p> <ul style="list-style-type: none"> • 3 November - Application lodged for a shed. Paid on 4 November. • The application was notified from 1 – 17 December. One submission received (noise, car parking spaces and conditions, access issues) • 5 Dec – sketch / indicative Floor Plan received with email showing bar area, sink, bathrooms. <p>Applicant notes the use will allow people who attend and usually gather outside can have an indoor space. Also noting that <i>The shed will also be able to accommodate extra ‘indoor’ interest groups such as those mentioned above who at the moment (birthdays, bingo, Rotary club meetings etc), cannot use the Club given we cannot accommodate any more due to a lack of available space.</i></p> <ul style="list-style-type: none"> • 17 December Applicant asked if someone could lay the slab over the Christmas / New Year break. My response is in the letter attached but said no, the application was not sufficiently progressed. • 6 Jan – Applicant uploaded site plan and wrote: <i>Very much appreciate your assistance with it all. The organisation who is providing funding for the project has reached out to us for an update, so any updates you could provide would be gratefully received, or if there was anything we can do to help move it along, just ask. Have a great afternoon.</i> • Information request prepared following draft comments from Engineers received, mainly in regard to identifying sufficient parking area. <p>Environmental Health – an acoustic assessment is required. Building Surveyor - has confirmed the proposed works are not for a Class 10a shed and will be assessed as a Class 9b Structure. This will involve considerable work and can be</p>	8/2/2022	Y	
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				<p>conditioned to accompany the Construction Certificate (CC), including Section J BCA report. A more detailed and dimensioned floor plan showing toilets and bar / kitchenette is required.</p> <p>In essence, the application lacked crucial information. Staff will respond promptly once a response to the information request has been received.</p>			
50	4/2/2022	The Mayor has had several requests for Captains Flat streets to be named after local residents/families. What is the process for this to occur?	SM Land Use Planning	<p>Council's road names are approved by the NSW Geographic Names Board, prior to them being allocated to roads in the local government area.</p> <p>Council has used themes as a way of allocating road names in the past and is open to applying this strategy to future road naming projects. We are more than happy to accept road name submissions from the public for consideration and, if the name is found suitable, it will be kept in a register of approved names for future use.</p> <p>Road naming requests to recognise local residents / families may be progressed by preparing a written submission with enough information to address the guidelines set out NSW Address Policy and User Manual. Submitters must be mindful of the commemorative road name guidelines Council must follow when making their submissions. All local councils in NSW are required to follow the road naming guidelines set out in the NSW Address Policy and User Manual. The relevant Section 6.7.6 <i>Commemorative Road Names</i> states:</p> <p style="padding-left: 40px;">"Naming often commemorates an event, person or place. The names of people who are still alive shall not be used because community attitudes and opinions can change over time. It is not appropriate to use nicknames as an alternative to an official name for the purposes of road naming.</p> <p>Acts of bravery, community service and exceptional accomplishments are typical grounds for this</p>	10/2/22	Y	

				<p>recognition. The name of persons who gave their lives in service for their country are often used as commemorative names. The person commemorated should have contributed significantly to the area.</p> <p>Ownership of land that has been developed is not considered as a significant reason for naming purposes.</p> <p>The initials of a given name are not to be used in any instances.</p> <p>Local Government shall make every effort to gain consent from family members of the person who is being commemorated. Supporting evidence that shows attempts by a Local Government to consult with family members should be provided during the lodgement of the proposal, but it is acknowledged that some names may be from an era for which this is not possible.</p> <p>It is a requirement that a person is to have been deceased for at least 12 months before an application to commemoratively name a road after them is deemed acceptable.”</p> <p>When Council submits a commemorative road name to the Geographic Names Board for approval, we must also include the following details; full name, date of birth, date of death, and evidence of the significant role they played within the area (or region) the road is located.</p> <p>Road name submissions can be made to Council by email at council@gprc.nsw.gov.au</p>			
49	4/2/2022	The Mayor has asked if Cemetery Road at Captains Flat is a Council road and if there is any upcoming grading scheduled	SM Transport and Facilities	This road is a Council road, however it is a category 10 unmaintained road. See the “Unsealed Road Grading Policy” for further information regarding categories and standards.	25/2/22	Y	

48	4/2/2022	The Mayor has advised that a discussion was held regarding events and tourism opportunities for Captains Flat. What opportunities might there be?	SM Business and Innovation	<p>Digital Marketing</p> <p>Captains Flat destination has its own subpage on the Visit Queanbeyan-Palerang website: https://visitqueanbeyanpalering.com.au/places/captains-flat/</p> <p>We also have a blog post on Captains Flat trail which is largely based on the Pathway to Gold pamphlet we used to distribute at the VIC: https://visitqueanbeyanpalering.com.au/explore/captains-flat-heritage-trail/</p> <p>As part of other digital campaigns, Captains Flat has featured and been included in road trip itineraries: https://visitqueanbeyanpalering.com.au/explore/scenic-country-drive-captains-flat-braidwood-bungendore/ https://visitqueanbeyanpalering.com.au/explore/southern-village-explorer/ https://visitqueanbeyanpalering.com.au/explore/the-culture-arts-road-trip/ https://visitqueanbeyanpalering.com.au/explore/heritage-road-trip/ https://visitqueanbeyanpalering.com.au/explore/the-west-explorer-road-trip/</p> <p>Previously we commissioned a destination video from local videographer Richard Snachel which was very well received on social media. It can be found on YouTube or on the QPTV page: https://visitqueanbeyanpalering.com.au/qptv/</p> <p>The art gallery in Captains Flat is also featured on our art gallery guide (both digital and print): https://visitqueanbeyanpalering.com.au/arts-and-design-treasure-trail/</p> <p>Product Development</p> <p>The biggest tourism issue our region is challenged with is a lack of new tourism products to attract visitors and promote</p>	9/2/2022	Y	
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				<p>to visitor markets. This is wholly left to the private sector to invest in or attract government grants to develop new products – for example, the expansion of the Braidwood Museum with its new artisan precinct. However, there has been very little product development in QPRC and this includes Captains Flat.</p> <p>Recently, there has been interest expressed in developing a walking trail at the old mine site at Captains Flat. Natasha Abbott from QPRC attended a site visit with community members and NSW government to discuss the potential for a walk to be developed on the site, including a lot of land (lot 66) owned by QPRC. See images below. However, the site is currently undergoing an EIS and will be subject to extensive remediation work in the coming years. At this stage, there is no formal plans or budget set aside for the development of the walk. Natasha Abbott can provide more detail about the site and works.</p> <p>In the past, Council has resolved not to support the Molongolo Rail Trail from Bungendore to Captains Flat which offered the potential for a new experience and tourism product.</p>			
47	4/2/2022	The Mayor has asked if the pedestrian bridge over Kerrs Creek – Willow Road, Captains Flat is scheduled for any upcoming maintenance as it appears to be in a poor state	SM Transport and Facilities	Council is aware of the condition of this bridge. Resources were delivered recently, and repairs are currently underway	25/2/22	Y	
46	4/2/2022	The Mayor has asked if the old Captains Flat Pre-School Building is owned by Crown Lands and if Council is aware of any potential future uses for this building?	SM Transport and Facilities	As per Council's mapping system, this building is owned by Captains Flat Preschool Association.	25/2/22	Y	
45	4/2/2022	The Mayor has asked if the significant chunk out of the road	SM Transport and Facilities	This is scheduled to be patched Friday 25.02.2022, weather permitting.	25/2/22	Y	

14.1 Responses to Councillors' Questions

Attachment 1 - Responses to Councillors Questions - no confidential information (Continued)

		on Kurrajong Street is scheduled to be filled					
44	4/2/2022	The Mayor has asked if the mould in the Captains Flat Community Association hall can be investigated	PC Facilities and Safe Cities	We are aware of the mould and are addressing this. First step is to repair the roof to eliminate the cause of the mould. Planning is well underway with a roofing contractor for this work. The Mould will then be addressed with an extensive works package planned at the Hall over the next 18months (funded under BLERF St1)	8/2/2022	Y	
43	4/2/2022	The Mayor has passed on that the representative from Captains Flat Mens Shed is looking into solar at their shed and discussion was had regarding potential installation of solar at the hall. Is this something being considered as part of Council's Climate Change Action Plan?	PC Facilities and Safe Cities	We have included Captains Flat Hall as one of the sites to receive a solar and battery storage system under the BLERF Stage 2 and expect this to be completed by 31 April 2023. It will be a 5kw system. Note we are still awaiting signed funding deed but expect no issues.	8/2/2022	Y	
42	3/2/2022	The Mayor has asked if QPRC is intending to apply for anything under this fund https://www.sport.nsw.gov.au/grants/multi-sport-community-facility-fund	Grants Officer	QPRC are applying for funding for a netball amenity building at Bungendore Sports Hub.	4/2/2022	Y	
41	3/2/2022	The Mayor has been approached by a resident regarding FOGO in QPRC Can the relevant staff member advise where we are up to with this, and any appropriate background? Another resident also asked why we don't have recycling bins attached to our general waste bins in the CBD, I didn't have a	SM Utilities				

14.1 Responses to Councillors' Questions

Attachment 1 - Responses to Councillors Questions - no confidential information (Continued)

		response, is this something we are looking at?					
40	3/2/2022	<p>The Mayor has received the below questions from a resident of Boro Road:</p> <p>1. Given Boro Road was supposed to be graded in January, how far behind are council in grading (i.e. when is Boro Road going to actually be graded)?</p> <p>2. What is council going to do to rectify the root cause of the drainage issues on Boro Road?</p> <p>3. When is council going to resurface Boro Road with the half a million dollars allocated to this?</p>	<p>SM Transport & Facilities</p> <p>PGM Community Connections</p>	<p>Letter provided to resident from Council staff.</p> <p>Council re-inspected Boro Road and has planned maintenance grading to take place week commencing 7 February 2022 to repair damaged sections of pavement, with the approved DRFA funded gravel re-sheeting to take place in the near future.</p> <p>Council has already spent substantial time widening the existing pavement in readiness for the upcoming gravel re-sheeting program.</p>	7/2/2022	Y	
39	3/2/2022	<p>The Mayor has requested the sign welcoming motorists to NSW on Canberra Avenue (before the bridge over the rail track) be updated if possible</p>	<p>Road Safety Officer</p>	<p>The sign is not a core sign managed by roads or transport & it's on a state road.</p> <p>Being a state road it could be initially referred to TfNSW - it's their road so they'd likely give some authorisation for signs to be displayed</p>	7/2/2022	Y	
38	2/2/2022	<p>The Mayor has advised there has been some conjecture on social media regarding the booking system used for the tennis courts at Googong, that appear to be locked a lot of the time. Are staff able to advise?</p>	<p>SM Urban Landscapes</p>	<p>At present there is no booking system for Googong tennis courts.</p> <p>History goes; The courts were leased to Club Googong and sublet to YMCA, who in turn hired out the courts. When YMCA withdrew and Club Googong was sold, the courts returned to council. We have tried to arrange for one of the two local tennis clubs to take these courts on but they are too remote, from the clubs, for easy operation.</p>	3/2/2022	Y	

				<p>We currently have a casual arrangement with a local tennis coach who opens and closed the courts allowing casual access, in exchange for them using the courts for coaching. Ideally we want these courts on Tennis Australia's "Book and Court" system but to do this we must have an affiliated club and that is not viable on only two courts. In the future stages of Googong, we get a further six courts, on one location, and a Googong Tennis Club will arise. Until then, we are working on installing an electronic locks, via the Smart City network out there, and linking it to our Intelligenz Booking System. I hope to have this operational in the next couple of months.</p>			
37	2/2/2022	<p>A resident has asked if the blue zone has been moved to Wilkins Way, and if so, the thought process behind why it would be moved from Gorman Drive. Is a staff member able to advise on that?</p>	<p>Road Safety Officer PGM Community Connections</p>	<p>NSW School Infrastructure (SI) have designed the new Googong Public School including the design of the on-road school zone infrastructure such as bus stop locations, crossing locations and pick-up and drop off areas (or blue zone as described below). Over the past 18months NSW SI have been consulting with Council and TfNSW about the design of the school as it developed including school zone infrastructure. A number of options were assessed for the possible location of all of the infrastructure to service the school, and several locations were considered for the pick-up and drop off area.</p> <p>Council's preference for the pick-up and drop-off was off-road in a school car park similar to the setup at the Anglican Public School in their off-road car-park off Rosa St. On many occasions we pointed to this example to NSW SI as safe infrastructure operating locally in Googong that reduces on-road risks of vehicle/pedestrian interaction, eliminates children being exposed to road/traffic and also improves school's ability to supervise children. It also significantly reduces the vehicle speeds at which pick-up and drop-off occurs and it can also reduce queuing and congestion on the roads surrounding schools. NSW SI refused to consider off-road pick-up and drop-off infrastructure and actually went to extreme lengths to demonstrate it was not viable for the school's function for them to provide such facility. In very early discussions with NSW SI they weren't intending to</p>	3/2/2022	Y	

				<p>even provide an off-road car-park for Googong Public School so it was considered a win that we achieved this feature – but I will say Derek was most displeased that we weren't able to achieve an off-road car park and I felt it could've been possible and would've been the best scenario for a 'brand new school' in Googong.</p> <p>I don't believe we saw any design options that had the pick-up and drop-off on Gorman Drive and our recommendation through all the consultation was for the Bus Zone to be located along the full length of Gorman Drive in the school zone and in the last SSDA submission (my third) I still raised my concerns that the bus zone on Gorman Drive isn't long enough and has potential to cause unsafe stacking into the intersection of Gorman Drive/McPhails Way.</p> <p>Pick Up and Drop Off Zones were considered for both Aprasia Avenue and McPhails Way and for a variety of reasons there were safety and functionality issues with these options. The first SSDA on display had the 'Pick up and Drop Off Zone' on Aprasia Avenue and Council's submission objected with a variety of safety concerns for this option. In the end TfNSW and Council were of the recommendation that an indented 'Pick up and Drop off' on Wilkins Way was the safest option and NSW SI design has supported this with indented kerbing, shelters, gates and footpaths on Wilkins Way.</p>			
36	2/2/2022	The Mayor has received correspondence from a resident regarding future Noise Abatement measures along Edwin Land Parkway proposed by Council.	PC Contracts & Projects PGM Community Connections	<p>In response to the below question about noise abatement along Edwin Land Parkway, Council staff have determined that the response previously provided to the resident still stands (see email chain)</p> <p><i>The recorded noise levels were then entered into a noise model to predict future noise levels and all results were compared to the noise criteria set in the NSW Road Noise Policy (RNP). The results of this work found that a handful of properties along Rosewood Glen are experiencing noise levels above the RNP noise criteria and require further assessment on suitable noise mitigation measures. The</i></p>	7/2/2022	Y	

				<p><i>properties on Rosewood Glen that require this further assessment to be undertaken back onto Jerrabomberra Circle. Your property was not identified as one that needed further noise mitigation.</i></p> <p>A report to Council on this matter is intended to be put in the near future.</p> <p>The consultant engaged for the study has noted an error in their previous work last year and is revising their report accordingly. The error involved the model not including some existing fences. The only change (if any) would be those properties that didn't have their back fences included in the model may drop off as houses needing mitigation as the existing fences would provide some noise mitigation.</p>			
33	31/01/2022	<p>Cr Willis has asked:</p> <p>Does council have a work program for upgrading local parks?</p> <p>Can the work program be published?</p> <p>What is the budget allocation for this work program in 2021-22?</p>	<p>SM Urban Landscapes</p> <p>PGM Natural & Built Character</p>	<p>QPRC does not have a simple program that can be published as such. What we have is a few programs which each rely on funding being available. We have the Sports Facilities Strategic Plan , which will be reviewed by the Sports Council in Mid-March, we have a schedule of playground renewals and a schedule of other park improvements and projects. We don't advertise these widely because most are unfunded and we don't wish to create an expectation that something will happen in a particular year and it doesn't due to lack of funding. The best we could provide is lists of projects in order of priority, but not commit to when it may occur.</p> <p>We prioritise projects for grant funds or if it is to cater for increasing population we capture it in a S7.11 Plan or we put projects into the delivery plan for council to consider. We did previously advertise our 10 year list, but that was when we had the City Care funding each year. Since City Care finished I have very little funding opportunities for playground renewal or Local Park upgrades.</p> <p>The Parks Team are currently in the process of compiling a Program for the purpose of this question, so this will be forwarded as soon as it is forthcoming.</p>	4/2/2022	Y	

14.1 Responses to Councillors' Questions

Attachment 1 - Responses to Councillors Questions - no confidential information (Continued)

32	31/01/2022	<p>Cr Willis has asked:</p> <p>How much solid municipal waste did QPRC direct to the Woodlawn landfill site near Tarago in 2020 and 2021?</p> <p>From where is this waste sourced?</p> <p>When does the current agreement with Veolia end?</p> <p>Has Veolia discussed with QPRC the possibility of burning municipal waste in the waste-to-energy incinerator proposed at the Veolia site near Tarago?</p>	SM Utilities	<p>In 2020/2021 Financial year, 13,150 tonnes of waste was sent to Veolia Woodlawn</p> <ul style="list-style-type: none"> • Mix of domestic and commercial from within the LGA (mostly ex-Palerang) (around 7,700T) • Biosolids from STPs and WTPs around 3,450T • Commercial waste from ACT (taken through our Bungendore WTS) around 2,000T <p>The waste was predominately sourced from the former Palerang areas.</p> <p>The arrangement for the disposal of this MSW stream is due for reconsideration now. It will be the subject of a report to Council within the next month or so. The matters of FOGO and Recyclables will be in the same report.</p> <p>The waste to energy proposal has been the subject of at least 2 separate briefing sessions with Council staff.</p>	3/2/2022	Y	
31	31/01/2022	<p>Cr Willis has asked whether the chance to the school bus service along Wickerslack Lane can be referred to the Local Traffic Committee following a resident raising concerns about a number of safety issues with regards to children</p>	<p>Road Safety Officer</p> <p>PGM Community Connections</p>	<p>This is not a matter for traffic committee</p> <p>A response will be put together for the resident in addition to what has already been provided.</p>	1/2/22	Y	
30	30/01/2022	<p>From memory after the new Braidwood sewerage plant was completed the then LGA was permitted by the State Government to impose a special levy on the towns ratepayers so as to pay off the debt needed to finance the build of the sewerage plant.</p> <p>In our case the special levy component of our total annual rates bill is approximately</p>	<p>SM Utilities</p> <p>PGM Organisation Capability</p>	<p>There was no special charge or levy applied to the former Palerang Sewerage scheme as a result of the 2010 Braidwood STP augmentation – at least not as a limited term charge as Mr Walker suggests. The user charges were reviewed at about this time (2011) and again very recently (the most recent ones were reaffirmed/adopted by Council just prior to the start of the 21/22 FY) and these remain in place for the foreseeable future. The charge applies to ALL sewerage customers within the former Palerang scheme (including Captains Flat and Bungendore) and not just Braidwood</p>	8/2/2022	Y	

14.1 Responses to Councillors' Questions

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		<p>\$1000. From memory the total cost of the new sewerage plant was in the area of ten to twelve million dollars. It is now about ten years since the towns ratepayers began to pay this levy.</p> <p>Can you tell me: How much of the debt has been paid off and at current rates how much longer before the debt is paid off in full?</p>					
29	30/01/2022	<p>The president of HENCAST has contacted the Mayor in relation to obtaining subsidized hiring of the Letchworth Community Centre</p>	<p>SM Recreation & Culture PGM Community Choice</p>	<p>Council receives a number of applications from groups requesting support with hiring of facilities at either a reduced rate or no cost and has a process in place to address requests</p> <p>The Annual Community Grants program Category B provides an opportunity for groups such as Home Education Association to apply for a donation to assist with hiring of available Council facilities. The information about the Annual community Grants program is contained within the following link.</p> <p>https://www.qprc.nsw.gov.au/Community/Grants-Donations?BestBetMatch=donations%20scheme d13b95b2-5146-4b00-9e3e-a80c73739a64 4f05f368-ecaa-4a93-b749-7ad6c4867c1f en-AU#section-6</p> <p>The Annual Community Grant program application process for 2022/23 will commence in May 2022.</p>	2/2/2022	Y	
27	28/01/2022 7/2/2022	<p>The Mayor has been contacted by the applicant of DA.2021.1374 requesting an</p>	<p>SM Development PGM Natural & Built Character</p>	<p>This DA was signed on the 13th February 2022 and stamped / uploaded to the Portal on the 15th February 2022.</p>	21/2/22	Y	

		update on the status of this application					
25	25/01/2022	Cr Wilson has requested an update on the progress of the DA at the Braidwood Pool.	PGM Natural & Built Character	The development application was lodged on 17 May 2021 and throughout the assessment process Council has had to work through various issues including comments from Councils' Heritage Advisor, Engineering requirements and consent for the application (through Crown Lands). The application has now progressed and at this stage Council staff are working to have the report put to the 23 February Council 2022 meeting. No submissions were received through the notification period.	25/01/22	Y	
24	24/01/2022	The Mayor has asked for an update on the issues, occupation and condition of the Ray White building (corner Lowe/Monaro Street) and options for Council to remedy the appearance or use of the site.	SM Business & Innovation	An Emergency Order has been issued			
23	21/1/2022	The Mayor has been contacted by a local business who is unhappy about Council failing to mow the entire nature strip.	SM Urban Landscapes	While the nature strip is technically Council land, Council does not mow nature strips, this is traditionally done by the adjoining property owner. If council was required to mow all nature strip it would be beyond our resources and budget. We periodically get complaints/requests to mow the nature strips for all parts of the LGA and our stance is the same. In the case of the Hamilton Motel Queanbeyan, we only mow this area when we mow along Canberra Avenue as a town approach. We do this once every two months. If a business wants greater than it is up to them to mow. Unfortunately for the new owners, the former own had garden beds along the verge, but we do not maintain these and best we can do is spray them out next time we service this area. Staff have explained this already to the current owners and placed some irrigation to assist them keep it green.	25/1/22	Y	

				We must be consistent with this approach or it will break our budget.			
19	19/1/2022	<p>Cr Grundy requested an update on the status of projects proposed for Braidwood:</p> <ol style="list-style-type: none"> 1. Lascelles Street – Contractors were noted on the QPRC website to have commenced the tendered work in October 2021 with funding allocated through the Stronger Communities Fund and the Local Roads and Community Infrastructure Program, but the project has yet to get underway on the ground. <p>Braidwood Off Street carpark – Capital works estimated at around \$820,000 have been identified but further details on progress have yet to be forthcoming. It is documented on the QPRC website that Council staff are currently preparing concept sketches and cost estimates but residents are anxious to know when actual works will commence.</p>	<p>CEO PGM Community Connections</p>	Schedule to cover details relating to these projects at Councillor Induction Session on 29 January 2022.	19/1/22	Y	
17	19/1/2022	<p>Cr Willis asked the following:</p> <ol style="list-style-type: none"> 1. What is the annual budget for library services in QPRC 2. How does Council determine how its budget 	<p>PGM Community Choice</p>	<ol style="list-style-type: none"> 1. QBN: \$2.3M, BNG: \$117K, BWD:\$135K Welcoming community space QBN project \$80k Refurbishment of Library activity Room \$8k Updating RFID 4k Develop a strategic plan for libraries \$70k 	3/3/22	Y	

		<p>for library services is allocated between the different libraries including the mobile service?</p> <p>Is there any feedback from library users on their needs and whether services and facilities are meeting them?</p>		<p>2. QBN is the administrative centre and looks after collections, comms, Home Library Service and Mobile, programs/experiences which is why most of the money sits there. Key drivers for budget are staff wages and cost of materials from vendors (items for loan – physical and digital).</p> <p>We do receive ad-hoc feedback from the community and the upcoming library strategy engagement will provide us with further information on this. Generally speaking, the feedback from the community is positive. They appreciated access to the collection during lockdown. We are now looking to connect with community now as behaviours have changed due to the pandemic.</p>			
2	4/1/2022	Cr Biscotti has been contacted by a resident concerned about the length of grass around Jerrabomberra near walking tracks and overgrown vegetation surrounding footpaths	<p>SM Urban Landscapes</p> <p>PGM Natural & Built Character</p>	Area maintained	6/1/22	Y	
1	2/1/2022	Cr Winchester has been contacted by a resident concerned about the speed vehicles travel along Hellmund Street, Queanbeyan and would like to request speed humps or shickaines are installed to slow traffic down	<p>Road Safety Officer</p> <p>PGM Community Connections</p>	<ul style="list-style-type: none"> A road safety review was conducted for Hellmund St in 2020 and as a result a report was approved by October 2020 LTC committee for safety treatments near the resident's property. These were implemented by January 2021. The resident notes particular concern for Hellmund St being used as a short cut to avoid traffic congestion at roundabouts on Canberra Avenue. Council has collected traffic data since 2004 from Hellmund St and the traffic volumes have been consistent on this road, and recent counts in 2019 have actually noted decreases – ie 2004 ADT was 1780vpd, in 2019 this was down to 1461vpd and with counts in between of 1340, 157 and 1649. In peak hour times we have not seen increased traffic volumes to suggest additional vehicles beyond residents in this area are cutting through. 	21/1/22	Y	

				<ul style="list-style-type: none"> • The resident raised concerns for vehicles exceeding speed limits on the road and requested engineering treatment of speed hump or chicane. Speed data collected in two locations either side of the resident's home indicates 85th speed percentiles of 55km/h and 53km/h noting the resident lives at the top of a crest and vehicles accelerating would be expected from data collected at a certain point. The 85th speed percentiles indicate low level speeding which strategies of education and enforcement are used to address such speeding, noting low-level speeding can be commonplace across our network. However, for the high-risk area near the resident's home the safety treatments from October 2020 LTC report were installed to define the travel lanes, keep vehicles from driving in the centre-of-road and assist with slowing vehicles by narrowing the travel lane. 50 pavement markers are also in place on the road near the resident's home and in one other location on Hellmund St reinforcing the urban speed limit for motorists. • The resident was particularly concerned about exiting their driveway. Onsite inspections noted the resident's driveway does feature some hazards – it is located in an intersection, at the top of a crest with a bend, and has restricted views both from the crest, the bend, vegetation on the verge and service infrastructures (electrical conduit) – photo attached of view. The resident's driveway conditions are likely to be challenging and other homes in the vicinity were noted to feature multiple driveways to support front-forward exiting which does optimise safety and sight distances. The resident investigating possible upgrades to the drive-way access to improve the risks from these hazards is recommended. <p>As noted by the resident, Hellmund St has benefited from road safety strategies with the speed trailer deployments providing courtesy speed checks and coordinated enforcement with police. We can enhance these strategies offering the resident Slow Down bin sticker to reinforce the</p>			
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				resident's concern for slower speeds on the road and also suggest the road is nominated for the NSW Mobile Speed Camera Program – Hellmund St is not currently identified by the NSW Government to receive any mobile speed camera activity whereas Lanyon Drive has both a fixed camera and is a designated mobile camera spot.			
391	30/11/21	Cr Marshall advised that the bridge work in Captains Flat is still not finished and the condition of the detour needs to be addressed. Miners Road past the SES and substation is a moonscape.	PGM Community Connections				
368	30/9/21	Cr Winchester has asked Council to confirm what the further \$2.9 million funding will be used for on Williamsdale Road. Will the rest of the road now be able to be sealed?	PGM Community Connections	We are currently getting some design work done so an accurate estimate can be determined. Once the design work is done, we will provide details on the sections of road to be done.	7/10/21	N	